

## PLANNING COMMISSION AGENDA

Thursday, June 5, 2025

CITY OF DAYTON, MINNESOTA

12260 So. Diamond Lake Road, Dayton, MN 55327

REGULAR MEETING OF THE PLANNING COMMISSION – 6:30 P.M.

To Participate in the Meeting, please see [cityofdaytonmn.com](https://cityofdaytonmn.com) Calendar for Zoom Invitation.

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|------|------------|---|
| 6:30 | <b>1.</b>  | <b>CALL TO ORDER</b>  |
| 6:30 | <b>2.</b>  | <b>PLEDGE OF ALLEGIANCE</b><br><br>(Roll Call)  |
| 6:30 | <b>3.</b>  | <b>ROLE OF THE PLANNING COMMISSION</b><br><i>The Planning Commission consists of five residents appointed by the City Council. The Commission administers the Comprehensive Plan, Zoning and Subdivision regulations. The Commission conducts Public Hearings and provides recommendations to the City Council. It is the City Council who may approve or deny land use applications.</i> |
| 6:35 | <b>4.</b>  | <b>APPROVAL OF AGENDA</b>   |
| 6:35 | <b>5.</b>  | <b>CONSENT AGENDA</b><br><i>These routine or previously discussed items are enacted with one motion. Note: Commissioners absent from previous meetings may still vote to approve minutes.</i><br><br>A. Planning Commission Minutes, May 1, 2025  |
| 6:35 | <b>6.</b>  | <b>OPEN FORUM</b><br><i>Public comments are limited to 3 minutes <u>for non-agenda items</u>; state your name and address; No Commission action will be taken, and items will be referred to staff. Group commenters are asked to have one main speaker.</i>  |
| 6:45 | <b>7.</b>  | <b>COUNCIL UPDATE</b><br>A. May 13, 2025<br>B. May 27, 2025   |
| 6:50 | <b>8.</b>  | <b>PUBLIC HEARINGS</b><br>A. Variance, 11250 East French Lake Road (Spaanem)<br>B. Concept Plan Review, 18XXX 121 <sup>st</sup> Avenue (Rogers Ops, LLC)<br>C. Dayton Interchange Business Center, Preliminary Plat, Site Plan Review (Scannell)  |
| 7:20 |            |   |
| 7:40 |            |   |
| 8:00 |            |   |
| 8:20 | <b>11.</b> | <b>NOTICES AND ANNOUNCEMENTS</b><br>A. Staff & Commission Updates   |
| 8:25 | <b>12.</b> | <b>ADJOURNMENT</b> (Motion to Adjourn)  |

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The City of Dayton's mission is to promote a thriving community and to provide residents with a safe and pleasant place to live while preserving our rural character, creating connections to our natural resources, and providing customer service that is efficient, fiscally responsible, and responsive.

## **1. CALL TO ORDER**

DeMuth called the May 1, 2025, Planning Commission meeting to order at 6:30 PM.

Present: Browen, DeMuth, Crosland, and Sargent

Absent: Preisler

Also in Attendance: Mayor, Dennis Fisher; Jon Sevald, Community Development Director; Hayden Stensgard, Planner II

## **2. PLEDGE OF ALLEGIANCE**

## **3. ROLE OF THE PLANNING COMMISSION**

*The Planning Commission consists of five residents appointed by the City Council. The Commission administers the Comprehensive Plan, Zoning, and Subdivision regulations. The Commission conducts Public Hearings and provides recommendations to the City Council. It is the City Council who may approve or deny land use applications.*

## **4. APPROVAL OF AGENDA**

DeMuth asked if there were any changes or corrections to the agenda.

***MOTION** by Browen, second by Crosland, to approve the agenda. The motion passed 4-0.*

## **5. CONSENT AGENDA**

### **A. Planning Commission Minutes, April 3, 2025**

DeMuth introduced the Consent Agenda, which included the Planning Commission minutes from April 3, 2025. Sevald noted there were a couple of misspellings that needed correction. Sargent inquired about the AI-generated meeting minutes, and Stensgard confirmed they had been working well according to the Administrative Assistant.

***MOTION** by Browen, second by Crosland, to approve the Planning Commission minutes. The motion passed 4-0.*

## **6. OPEN FORUM**

DeMuth opened the floor for Public Comments, but no one came forward to speak.

## **7. COUNCIL UPDATE**

### **A. April 8, 2025**

### **B. April 22, 2025**

For the April 8th meeting, Fisher discussed the financial close-out of the freeway interchange project, which came in \$500,000 over budget. Fisher mentioned the Three Rivers Park engagement plan, park improvement bid awards, and discussions about a roundabout at 114<sup>th</sup> in DCM Farms. Fisher also reported on water extension projects, the water trail project, and the City Administrator's performance review.

For the April 22nd meeting, Fisher discussed the approval of a moratorium recommended by the Planning Commission, debates about its duration, and discussions about Elsie Stephens Park alternates. Fisher mentioned the approval of conduit debt, the Legacy Woods preliminary plat, and adjustments to the Greenway



overlay. Fisher also reported on easement discussions, the Parkway Neighborhood Phase 2 preliminary plat approval, and property transfer related to the EDA.

Fisher concluded by mentioning that Nick had resigned from the Planning Commission, opening a slot for a new member.

## **8. PUBLIC HEARINGS**

### **A. Consideration of a Concept Plan Review for an Unsewered Single-Family Residential Development, PIDs 06-120-22-21-0002, 06-120-22-12-0008, 06-120-22-13-0002 (Bernens)**

Stensgard presented a concept plan for an unsewered single-family residential development in northwest Dayton. The site is 117.5 acres and would require rezoning from A-2 and A-1 to A-3. The concept proposes 12 total lots, including 11 new and 1 existing homes. Stensgard discussed various aspects of the plan, including lot sizes, road connections, and potential issues with the number of lots allowed based on acreage.

The Commission engaged in extensive discussions about road connectivity, the number of lots, and potential impacts on neighboring properties.

Jack Bernens of 14770 Thicket Lane, the applicant, addressed the commission and explained their vision for the development, including plans for an event center, vineyard, and winery. Bernens also discussed concerns about Park Fees and wetland ownership.

#### **DeMuth opened the public hearing at 7:26 pm.**

Bruce Graffunder of 15720 Brockton Lane North raised concerns about the potential impacts of extending Maria Street through his neighborhood, especially on existing properties like the Johnsons'.

Sue Johnson of 15720 Maria Avenue also expressed concern about the road extending close to her property.

Mary Graffunder of 15720 Brockton Lane North pointed out issues with current traffic patterns and urged a reevaluation of neighborhood access.

Jeff Johnson of 15720 Maria Avenue was online and was not in favor of the 60-foot easement. Johnson encouraged the commission to visit the area instead of only looking at the map.

Phillip Frederick of 17881 Dayton River Road shared the elevation concerns, leaving his driveway.

Nancy Hanowski, a member of the board at Holy Spirit Academy, inquired about the Park Dedication fee or greenspace. Calculations and use were discussed.

Marcia Grover of 11320 Fernbrook Lane questioned the A3 District with the separate parcels and asked for an explanation.

#### **DeMuth closed the public hearing at 7:49 pm.**

The Commission provided feedback to the Applicant, suggesting changes to the road layout, connectivity, and easements. They also expressed support for allowing 12 lots, pending further investigation into potential Variances or other mechanisms to make it work within the existing ordinances.

**B. Consideration of a Request to Rezone 15520 South Diamond Lake Road (PID 16-120-22-23-0003) from A-1, Agricultural to SA, Special Agricultural (Salonek)**

Stensgard presented a request to rezone 15520 South Diamond Lake Road from A-1 to SA in connection with the property entering the Metropolitan Agriculture Preserve Program. Stensgard explained the history of the property's involvement in the program and the reasons for the rezoning request.

The Commission discussed the implications of the rezoning and the City's ability to remove the property from the program in the future if needed.

**DeMuth opened the public hearing at 8:18 pm.**

No one came forward or was online.

**DeMuth closed the public hearing at 8:19 pm.**

***MOTION** by Browen, second by Sargent, to rezone the property at 15520 South Diamond Lake Road from A-1 to SA. The motion passed 4-0.*

**C. Consideration of a Zoning Ordinance Text Amendment, Amending Section 1001.14 related to Exterior Lighting (City of Dayton)**

Stensgard presented a proposed zoning ordinance text amendment related to exterior lighting regulations. Stensgard explained that the amendment was requested by the City Council to address gaps in the current ordinance and promote Dayton's designation as a Dark Sky Community.

The Commission engaged in a discussion about various aspects of the proposed amendment, including:

- Exemptions for holiday lighting and architectural lighting
- Foot Candle measurements and enforcement methods
- Differences between residential and commercial/industrial standards
- Concerns about existing non-conforming lighting
- Potential impacts on residential properties and neighborhoods

After extensive debate, the Commission decided that more refinement was needed before making a recommendation. They requested that staff look into possibly moving some residential lighting regulations to the nuisance code and provide more examples of what would be considered violations under the proposed ordinance.

***MOTION** by Crosland, second by Browen, to table the zoning ordinance text amendment related to exterior lighting. The motion passed 4-0.*

**11. NOTICES AND ANNOUNCEMENTS**

**A. Staff & Commission Updates**

Sevald provided several announcements:

- May is "Let's Get Moving" month, and free pedometers are available outside City Hall.
- Spring cleanup day is scheduled for Saturday, May 3rd, from 9 AM to 1 PM at Central Park.

- The City Open House is scheduled for May 14th from 5 PM to 7 PM at the public works garage.
- The Citywide Garage Sale is planned for June 5th-7th.
- The Council is appointing a committee for the Elsie Stephens Master Plan update, and a volunteer from the Planning Commission is needed.

After some discussion about scheduling conflicts and the relevance of Planning Commission input on the Park Plan, Crosland volunteered to represent the Commission on the Elsie Stephens Park Master Plan committee.

## **12. ADJOURNMENT (Motion to Adjourn)**

***MOTION** by Crosland, second by Browen, to adjourn the meeting. The motion passed unanimously.*

DeMuth adjourned the meeting at 9:11 PM.

**ITEM:**

Consideration of a Request for a Variance to Allow for the Construction of an Accessory Structure Exceeding the Height of the Principal Dwelling in the A-1, Agricultural District at 11250 E. French Lake Road

**APPLICANTS:**

TJ Spaanem, Property Owner

**PRESENTER**

Hayden Stensgard, Planner II

**BACKGROUND/OVERVIEW:**

In September of 2024, the subject property suffered a fire that destroyed a legally non-conforming accessory structure. The non-conformity was related to the allowable height of accessory structures in the A-1 district. The code currently does not allow for accessory structures in agricultural districts to be taller than the height of the principal dwelling on the property, except by way of a Variance<sup>1</sup>. Being that this was a non-conforming use lost in a fire, the Zoning Ordinance allows the property owner to submit a building permit application within 180 days of the fire and propose to build the structure as it originally was, but a building permit was never applied for, and the 180-day window established by [State Statute](#) has passed. As such, in order to build the accessory structure back to its original dimensions and height, the property owner is seeking a Variance to allow for the overall height of the structure to exceed the height of the home by one and a half feet.

For reference, in residential districts, the limitation to the height of accessory structures is also set at the height of the principal dwelling, but can exceed the height of the dwelling up to 35 feet, by way of a Conditional Use Permit. This flexibility is not offered to agriculture-zoned districts, and Staff questions whether this difference was intentional or not. From a Staff standpoint, it seems reasonable to allow for agriculture-zoned properties to apply for a Conditional Use Permit in this regard, rather than requiring a Variance, subjecting those properties to the same standards as the residential properties within the City.

**ZONING AND LAND USE:**

The subject property is zoned A-1, Agriculture District. The properties to the North and South are A-1 zoned, and to the West is Territorial Trail, an R-3 subdivision, and to the East is Rush Creek Landing, an R-1 subdivision. The proposed location of the accessory structure conforms to all setback requirements in the A-1 district and would not exceed impervious surface maximums with the construction of this structure.

**VARIANCE PROCESS/ARGUMENT:**

**Requirements**

[Minnesota State Statute § 462.357, Subd. 6](#) dictates how variance requests are to be considered by a three-part test (meeting all parts of the test). Variances may be granted when the applicant for the

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<sup>1</sup> [Zoning Ordinance Section 1001.45 Subd. 4](#)

variance established that there are practical difficulties in complying with the zoning ordinance.

Meaning:

1. The property owner proposes to use the property in a reasonable manner not permitted by zoning ordinance;
2. The plight of the landowner is due to circumstances unique to the property not created by the landowner;
3. And the variance, if granted, will not alter the essential character of the locality.

Economic considerations *alone* do not constitute practical difficulties (ie if it is too expensive to follow zoning code, that cannot be the only reason creating difficulty).

### **Applicant's Argument**

The property owner has informed staff that one of the purposes of the accessory structure is to store their camper within it when not in use. The property owner has noted that if the accessory structure were limited to the height of the principal dwelling on site, the camper would not fit, as the doors of the structure would not be tall enough to accommodate the camper.

### **ROLE OF PLANNING COMMISSION:**

The Planning Commission is asked to hold a public hearing on this matter and provide a recommendation to the City Council.

### **ACTION:**

The Planning Commission has the following options:

- 1) Consider recommending support for the Variance with any reasonable conditions of approval which can be added to the resolution submitted to City Council.
- 2) Consider recommending denial for the Variance with suggested findings related to denial
- 3) Table the item with direction to staff as to additional information Planning Commission would like to review. Note: the 60-day extension would be required to allow for more time.

### **STAFF RECOMMENDATION**

Staff can see how the applicant's situation presents an argument as to why the request is reasonable in nature. This application request sheds light on a potentially larger discrepancy related to the Zoning Ordinance, and how specific zoning districts are treated. If this property were zoned residential, the Zoning Ordinance allows for property owners to apply for a Conditional Use Permit to exceed the height of the principal dwelling. Whereas the agriculture districts are not offered that latitude. Staff's recommendation would be to consider this Variance for this instance, and discuss directing staff to draft an amendment to the Zoning Ordinance that allows for Conditional Use Permit requests in this regard, matching the standards set for all other residential districts.

If the Planning Commission recommends approval of the Variance request, Staff is offering the following conditions of approval for consideration:

1. The accessory structure shall be limited to the proposed peak height of 25 feet and 2 inches.
2. The accessory structure shall be used for personal use by the property owner only. No commercial activities of any kind shall be permitted within the building.

**ATTACHMENT(S):**

Aerial Map

Site Plan

Building Elevations





# Hennepin County Locate & Notify Map

Date: 5/21/2025



**Buffer Size:**

**Map Comments:**

0 100 200 400 Feet  
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This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

For more information, contact Hennepin County GIS Office  
300 6th Street South, Minneapolis, MN 55487 / [gis.info@hennepin.us](mailto:gis.info@hennepin.us)







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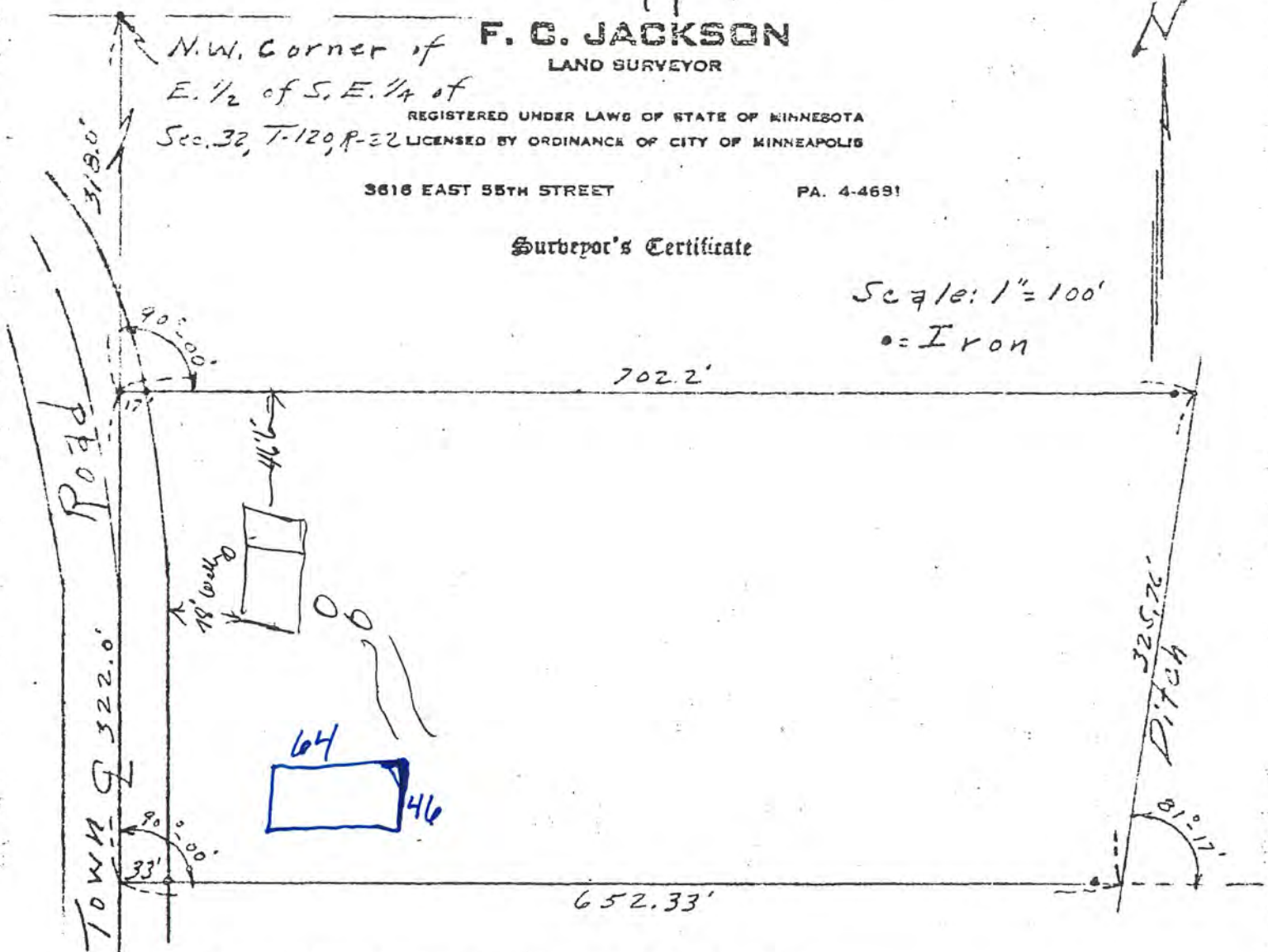
N.W. Corner of **F. C. JACKSON**  
LAND SURVEYOR  
REGISTERED UNDER LAWS OF STATE OF MINNESOTA  
Sec. 32, T-120, R-22 LICENSED BY ORDINANCE OF CITY OF MINNEAPOLIS

3616 EAST 55TH STREET

PA. 4-4691

Surveyor's Certificate

Scale: 1" = 100'  
• = Iron



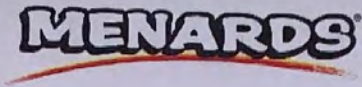
I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT PLAT OF A SURVEY OF

That part of the East 1/2 of the Southeast 1/4 of Section 32, Township 120, Range 22, Hennepin County, Minnesota, described as follows: Commencing at the N.W. corner of said East 1/2; thence South along the West line of said East 1/2 distant 318.0 feet to the actual point of beginning; thence continuing South along said West line 322.0 feet; thence East at right angles 652.33 feet; thence deflecting to the left 81°-17' distant 325.57 feet more or less to its intersection with a line drawn East at right angles to said West line from the point of beginning; thence West 702.2 feet more or less to the point of beginning, containing 5.0 acres more or less.

AS SURVEYED BY ME THIS 26th. DAY OF Oct. 1973

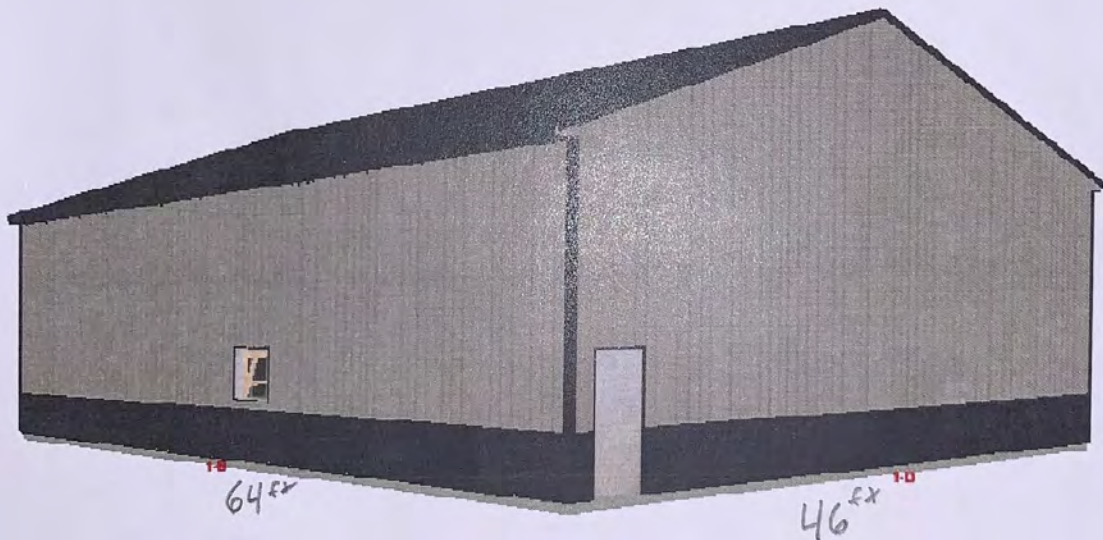
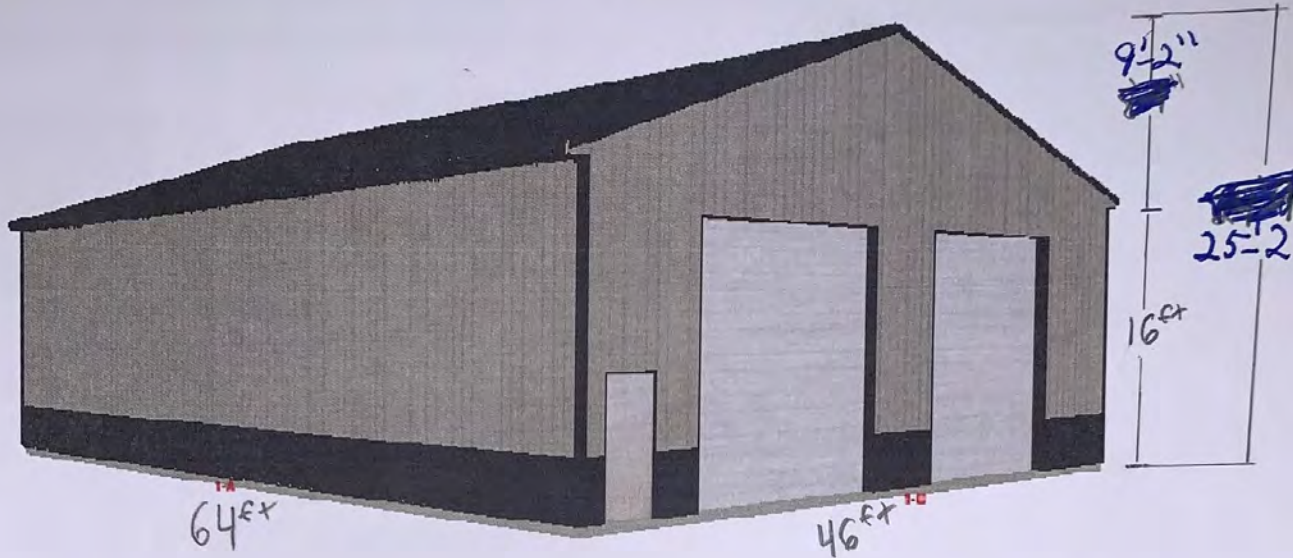
SIGNED F. C. Jackson  
F. C. JACKSON, MINNESOTA REGISTRATION, No. 3500

Design #: 315458026884  
Estimate #: 98474  
Store: CAMBRIDGE



Post Frame Building Estimate  
Date: May 8, 2025, 7:13:46 AM

Elevation Views



**ITEM**

Concept Plan Review for a Contractor's Operation with Outdoor Storage as an Accessory Use in the I-1, Light Industrial District

**APPLICANT**

Roger Ops, LLC.

**PREPARED BY**

Hayden Stensgard, Planner II

**BACKGROUND/OVERVIEW**

Rogers Ops, LLC. has submitted a concept application for a future industrial building located near the intersection of West French Lake Road and 121<sup>st</sup> Avenue North. The plan consists of a 26,096-square-foot office and warehouse building for a potential Contractor's Operation for Telcom Construction. Telcom Construction is a utility contractor based in Clearwater, Minnesota. The subject property is 8.43 acres (366,903 square feet). The applicants also show a dedicated area of Outdoor Storage as an Accessory Use.

The concept plan review process is designed to receive early input from the public, Planning Commission, and City Council prior to a developer committing large expenditures towards engineering design. A concept plan does not require the level of engineering detail that a site plan or preliminary plat submittal will require. Comments are not binding, nor are they expected to be the only comments on this project. Once a final site plan is submitted the review process begins and additional formal review comments will be provided.

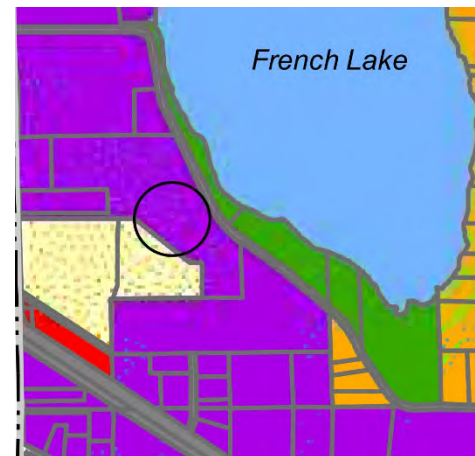
**LAND USE & ZONING**

The property is guided Industrial and is currently zoned I-1, Light Industrial District. A Contractor's Operation is a permitted principal use within the I-1 District, and Outdoor Storage is a conditional accessory use, subject to specific standards detailed within the Zoning Ordinance.

In 2023, this site was previously approved for a Contractor's Operation for a different business, but the property was never developed following approvals.

**CONCEPT PLAN ANALYSIS**

Because it is a concept plan, the level of detail does not meet what would normally be required for a Preliminary Plat application. With that being said, it is anticipated that the development would be required to meet the standards set forth for the I-1 district. The site plan also shows, however, an area dedicated for outdoor storage that is roughly 45,647 square feet, including 35,000 square feet of outdoor storage with gravel surfacing. Per the zoning ordinance standards for outdoor storage, the area dedicated for outdoor storage must be surfaced with improved material such as asphalt or concrete<sup>1</sup>. The applicants have expressed concerns about an improved-surfaced outdoor storage area. Screening of the outdoor storage area would be required to comply with the zoning ordinance standards.



<sup>1</sup> [Dayton Zoning Ordinance Section 1001.062 Subd. 2\(4\)\(b\)](#)



Additionally, there is an adjacent property guided for residential (vacant lot guided for a manufactured home park). The standards for outdoor storage outlined within the zoning ordinance does not allow outdoor storage adjacent to land guided residential<sup>2</sup>. The Planning Commission and City Council are asked to discuss the proposed outdoor storage area related to the proposed surfacing and proposed location, although it will not directly abut the residentially guided lot, but will be in proximity to it.

Below are the code standards for industrial-zoned lots in comparison to what is proposed in this concept plan. Based on the plans provided, the concept meets all the standards required in the table below.

	Required	Proposed
<b>Minimum lot size<sup>1</sup></b>	1 acre	8.42 Acres
<b>Minimum lot width<sup>1</sup></b>	150 feet	976 feet
<b>Minimum lot depth<sup>1</sup></b>	150 feet	590 feet
<b>Maximum impervious surface coverage</b>	80%	59%
<b>Maximum building footprint coverage</b>	50%	7.11%
<b>Structure height limit</b>	50 feet - above 50 feet requires a CUP	No information, expectation would be to meet the code standard
<b>Setbacks<sup>2</sup></b>		
<b>Building - Principal Structure</b>		
<b>Front yard</b>	30 (50) feet - <i>Plus 1 foot for every 1 foot of building height over 30 feet (maximum setback of 80 feet)</i>	31.4 feet
<b>Side yard</b>	15 (40) feet	167 feet
<b>Side yard (street)</b>	30 (40) feet	270 feet
<b>Rear yard</b>	15 (50) feet	347 feet
<b>Parking</b>		
<b>Front, side, or rear to a street</b>	20 (20) feet	20 feet

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<sup>2</sup> [Dayton Zoning Ordinance Section 1001.063 Subd. 2\(4\)\(i\)](#)

<b>Side interior</b>	5 (20) feet	23 feet
<b>Rear yard</b>	15 (20) feet	348 feet
<sup>1</sup> Minimum lot size, width, depth, and the like shall not include area of street easements, right-of-way, or common areas.		
<sup>2</sup> Setbacks in parentheses apply adjacent to all Residential Districts. A 20-foot setback is required for any structure or parking adjacent to any other Residential District.		

### **CRITICAL ISSUES**

***Outdoor Storage Surfacing and Location*** – Per the Zoning Ordinance standards for outdoor storage as an accessory use, the storage area is required to be surfaced with asphalt or concrete. The applicants have expressed concerns with this requirement due to the large tracked equipment that would be stored in the area, and that the equipment would continually put strain on the improved surface, requiring routine repairs and upkeep to the area. Outdoor storage is allowed in industrial districts through a Conditional Use Permit, which holds the same standard for surfacing. The Planning Commission and City Council is asked to address this during the concept plan review and provide feedback on the request. Additionally, the property southwest of this property is guided for a manufactured home park within the 2040 Comprehensive Plan. As noted previously, outdoor storage is not allowed to abut residentially guided property. When the 2040 Comprehensive Plan was adopted, there was a general understanding that the existing park would expand. Staff has recently met with those property owners, and they have indicated to the City that there is no plan at this time for a future expansion of the park, and they would be open to other interests in the property from potential users. Given this information, the Planning Commission and City Council are asked to also discuss and provide feedback on this site limitation.

Without the request of a Planned Unit Development, the concept plan moving forward is anticipated to meet all the requirements established in the Zoning Ordinance for the I-1 Light Industrial District. A plan review letter addressing those requirements is attached to this report.

### **ROLE OF THE PLANNING COMMISSION**

The role of the Planning Commission is to review the concept plans and provide feedback for the applicants to further consider if they intend to apply for a preliminary plat. The Planning Commission shall also hold a public hearing on this matter. Notice of public hearing was published in The Press on Thursday, May 22, 2025 and mailed to surrounding property owners within one-quarter of a mile.

### **ATTACHMENTS**

Aerial Photo  
 Project Narrative  
 Concept Plan Set  
 Building Elevations & Floor Plans  
 Zoning Map & 2040 Comp Plan Future Land Use Map  
 Planning & Zoning Comment Letter, dated June 5, 2025  
 Engineering Comment Letter, dated June 5, 2025



# Hennepin County Locate & Notify Map

Date: 5/21/2025



**Buffer Size:**

**Map Comments:**

0 205 410 820 Feet



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May 20, 2025

City of Dayton  
12260 S Diamond Lake Rd  
Dayton, MN 55327

Dear members of the Planning Commission and City Council of the City of Dayton.

Rogers Ops LLC on behalf of Telcom Construction is pleased to submit this narrative for your consideration.

Telcom Construction LLC is a self-performing, turn-key provider of Wireline Engineering, Design and Construction services with significant experience in the design/build of telecommunications projects. Our company has built over 150,000 fiber route miles and has the capacity to support over one million feet of underground fiber placement per month. Telcom Construction has the experience, people, and equipment to handle any type of telecommunications maintenance and construction project in both rural and metropolitan environments in a 16-state area.

Our team has extensive experience in the telecommunications industry with in-house staff consisting of planners, engineers, business professionals, construction managers, and financial analysts to offer a truly exceptional seamless experience to the industry. We develop strategic implementation plans and program management to create a unique turnkey solution to meet the individualized project goals and objectives of our customers.

Telcom has been headquartered in Clearwater Minnesota for the past 25 plus years with 18 offices spread throughout the Midwest; 5 of which are in Minnesota. We consistently have annual revenues of over \$250million with growth goals to take us far beyond where we are today. Our expansion into Dayton will allow us to provide service more efficiently to our largest market in Minnesota and provide 80 – 120 high quality jobs (including in office, some reporting to jobsites or working remotely from home) to the Dayton community. With its proximity to our headquarters and the metro area, Dayton is uniquely positioned as a satellite office to effectively contribute to our aggressive expansion goals as well as provide a central location for safety, OSHA and career training to our broader organization.

We are proposing a 26,096 square foot building with 8,000square feet of office space with 77 parking stalls. Critical to our business are the telecommunication materials as well as the utility trucks and machines required for the installation of our product. To that end, we are requesting 46,000 square feet of outside storage which is within the allowable area for this site. In addition, we are requesting gravel for a portion of the site rather than asphalt. We have track equipment which would cause repeated damage to asphalt and therefore is not practical in this situation.



We will have approximately 57 trucks and machines along with the telecommunication materials (all listed in detail on the site plan). All outdoor storage areas will be screened with an 8-foot opaque fence with the vast majority of material and equipment being 8 feet or less. The maximum height for any item will be 14'6". With the location of the outside storage area toward the back of the lot, the proposed 8' opaque fence, and the proposed landscaping, the stored equipment and materials will be well screened from public view.

We have been careful to design a very attractive building with ample landscaping throughout the plan.

We very much look forward to becoming a good corporate citizen of the Dayton community. Thank you for your consideration.

Sincerely,

DocuSigned by:  
*Mark Muller*  
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Mark Muller  
President  
Rogers Ops LLC

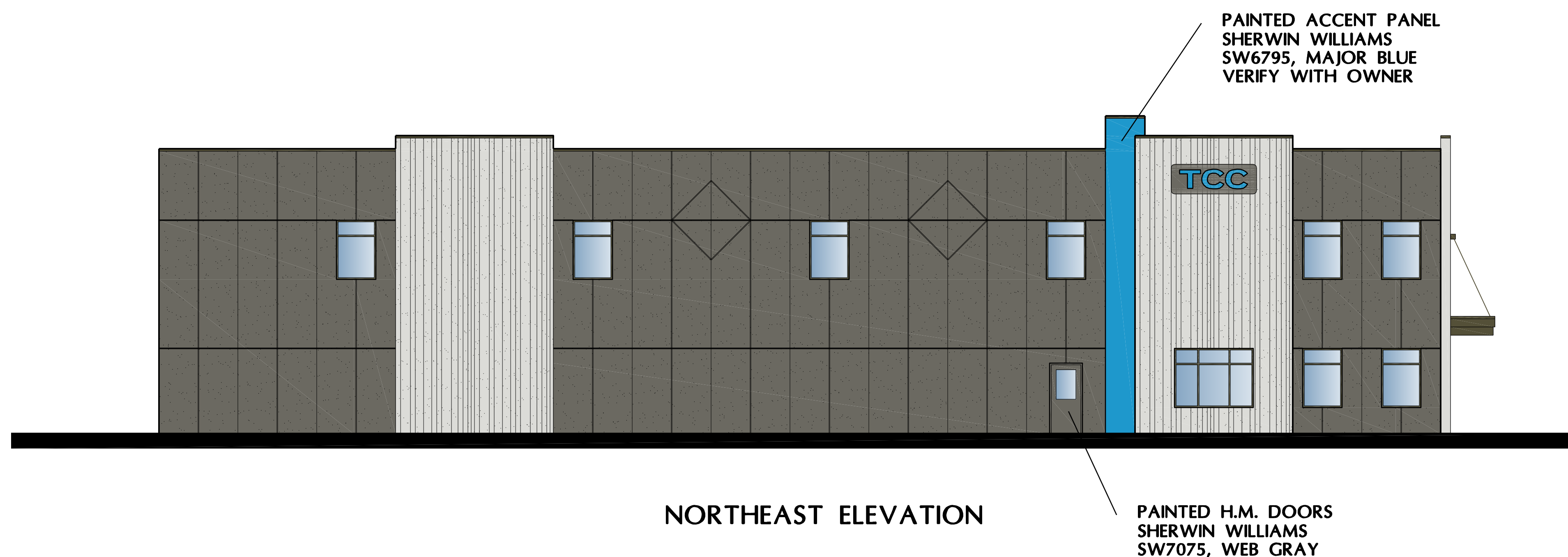
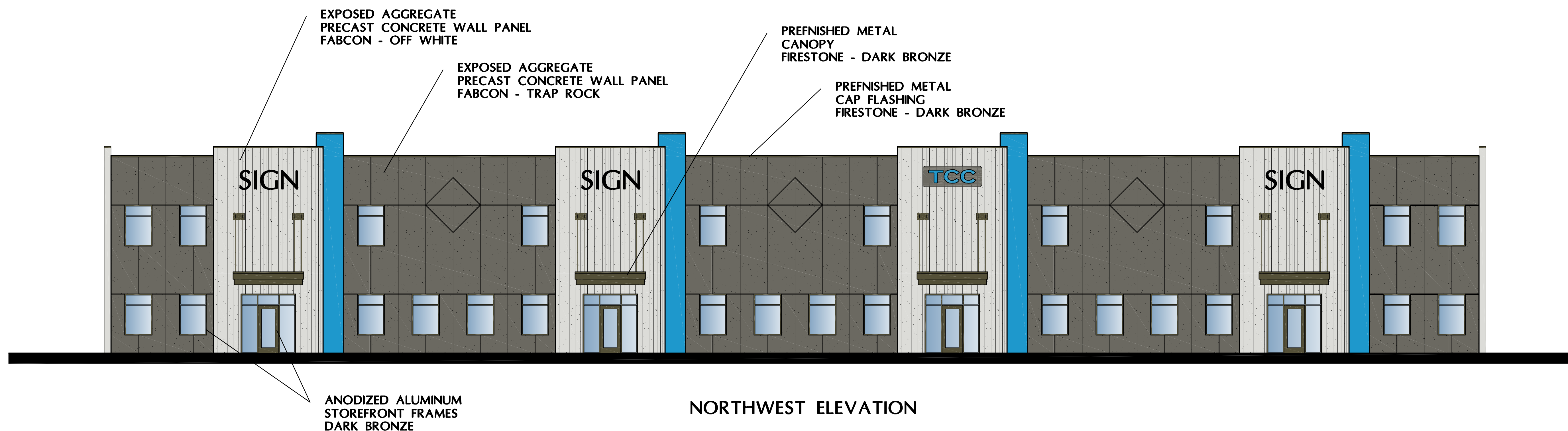








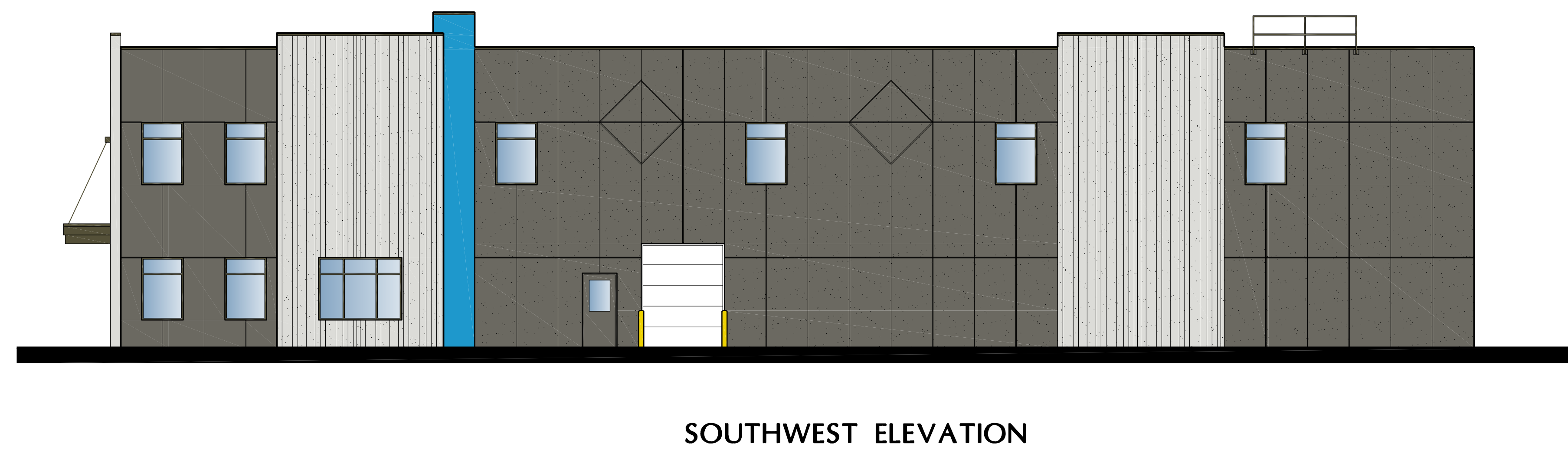
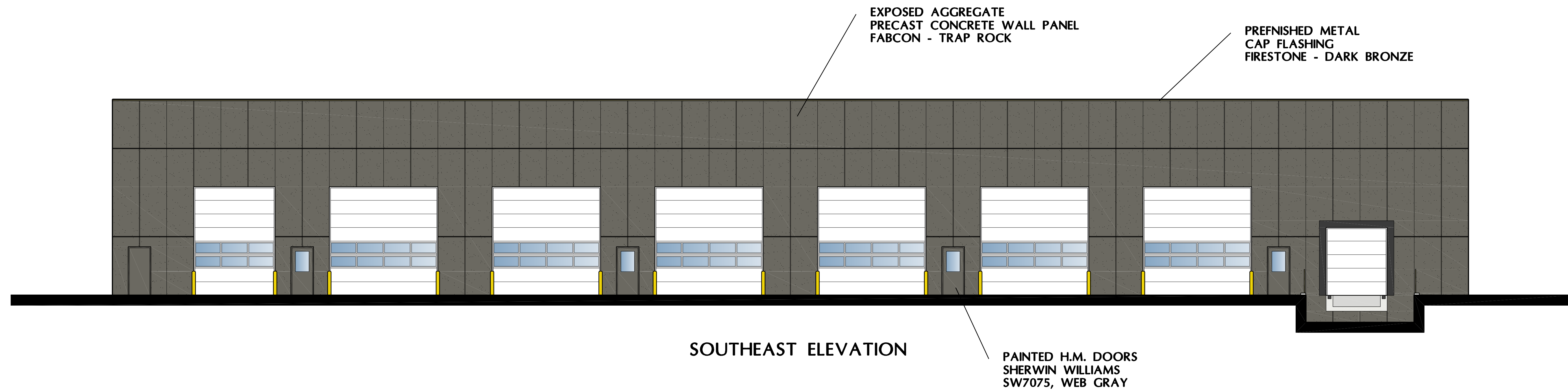
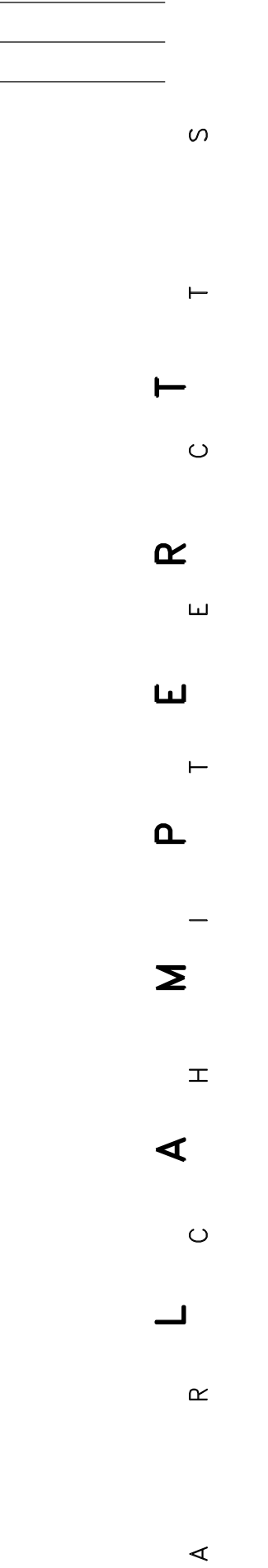
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# TELCOM CONSTRUCTION

Dayton, Minnesota

NOTE: THIS DRAWING IS FOR  
ILLUSTRATIVE PURPOSES ONLY.  
ACTUAL COLORS NEED TO BE  
FIELD VERIFIED.

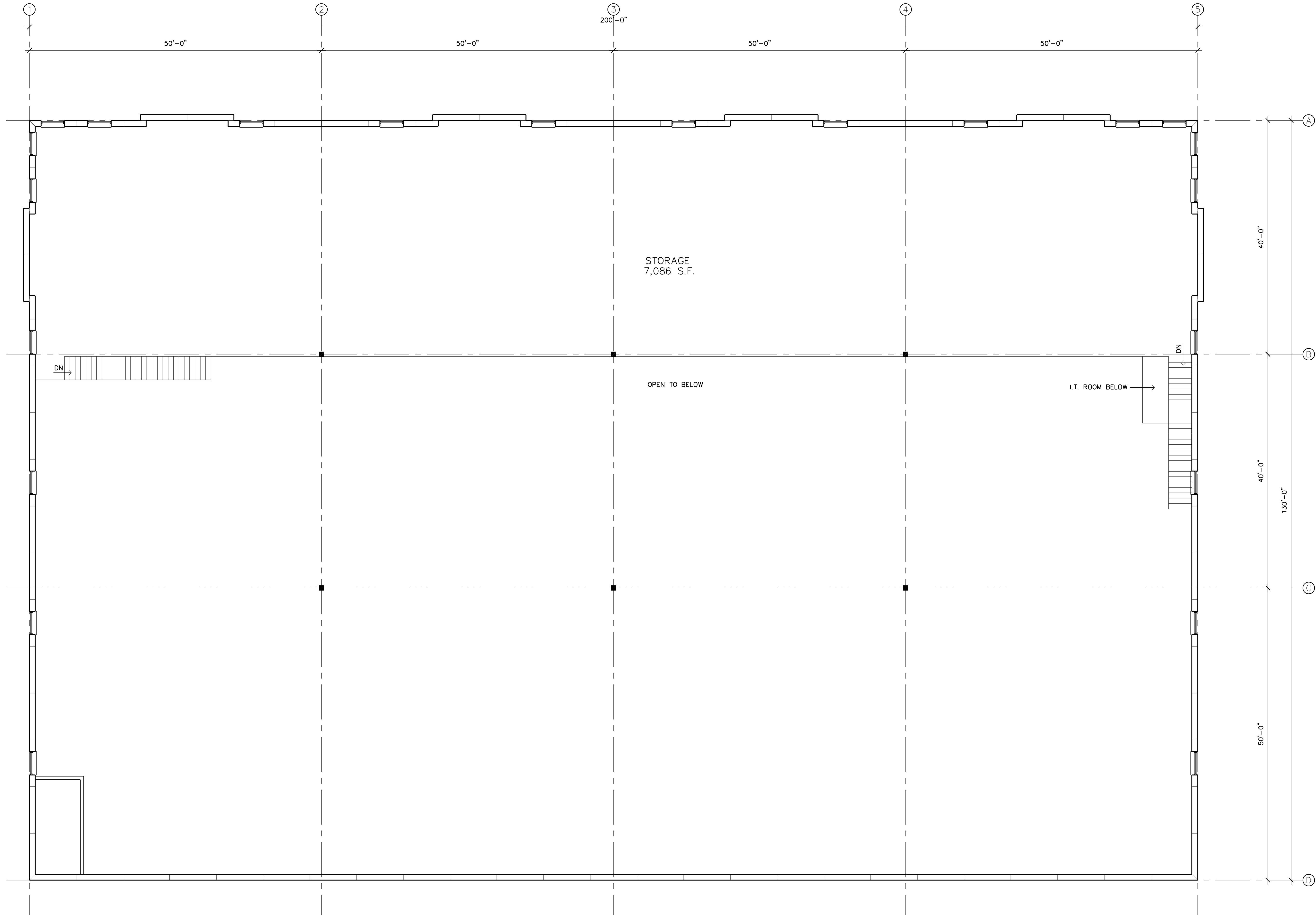


# TELCOM CONSTRUCTION

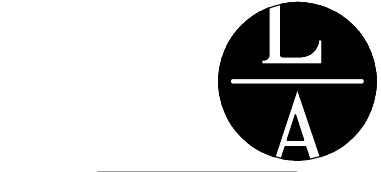
Dayton, Minnesota

NOTE: THIS DRAWING IS FOR  
ILLUSTRATIVE PURPOSES ONLY.  
ACTUAL COLORS NEED TO BE  
FIELD VERIFIED.





1 SECOND FLOOR PLAN  
A2 SCALE: 1/8" = 1'-0"



LAMPERT  
ARCHITECTS

420 Summit Avenue  
St. Paul, MN 55102  
Phone: 763.755.1211 Fax: 763.757.2849  
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN,  
SPECIFICATION OR REPORT WAS  
PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY  
LICENSED ARCHITECT UNDER THE  
LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

TELCOM  
CONSTRUCTION  
Dayton, Minnesota

Copyright 2025  
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

4/23/25 PRELIMINARY


SECOND FLOOR PLAN

Sheet Number

A2

Project No. 250325-1

To: Rogers Ops, LLC.

From: Planning & Zoning Department

File: Telcom Concept Plan

Date: 6/5/2025

---

### **Exhibits:**

This memorandum is based on a review of the following document:

1. Conceptual Site Plan by Contour Civil Design, no date.
2. Building Elevations and Floor Plans by Lampert Architects, dated 4/23/2025
3. Project Narrative, dated May 20, 2025

### **General Comments:**

4. Current zoning is I-1, Light Industrial and the 2040 Comprehensive Plan guides this property as Industrial. The property is also within the "Current" MUSA Staging designation.
5. Contractor's Operations are permitted principal uses within the I-1, Light Industrial District, and Outdoor Storage is allowed as an Accessory Use in the I-1 district by way of a Conditional Use Permit.
6. The applicant will be required to submit a preliminary plat, site plan review, and conditional use permit application following the concept plan being reviewed and discussed by the Planning Commission and the City Council. Any comments herein, including the engineering review letter provided by City Engineer Jason Quisberg, and any comments provided by the Planning Commission and City Council shall be utilized while developing the preliminary plat package for submittal.
7. Preliminary Plat application shall include all data identified in Subdivision Ordinance Section [1002.06](#), Data Required for Preliminary Plats.
8. Site signage shall be in accordance with Zoning Ordinance Section [1001.20](#) and shall be approved through a separate Sign Permit application.

### **Layout/Zoning**

9. All trash, recyclable materials, and trash and recyclable materials handling equipment shall be stored within the principal structure; 100% shall be adequately screened from public view by the principal building, or stored within an accessory structure constructed of building materials compatible with the principal structure enclosed by a roof and overhead door on tracks.

### **Building Design**

10. *Design elements.* The building design must include architectural interest through the use of a minimum of 3 of the following elements:

- a. Accent materials;
  - b. A visually pleasing front entry that, in addition to doors, shall be accented a minimum of 150 square feet around the door entrance for single occupancy buildings and a minimum of 300 square feet total for the front of multi-tenant buildings (this area shall be counted as 1 element);
  - c. Twenty-five percent window coverage on each front that faces a street;
  - d. Contrasting, yet complementary material colors;
  - e. A combination of horizontal and vertical design features;
  - f. Irregular building shapes; or
  - g. Other architectural features in the overall architectural concept.
11. All rooftop equipment shall be screened from ground-view.

**Outdoor Storage**

12. Screening shall be at a minimum of 8 feet in height, at time of installation from street level view and around the perimeter of the open storage area by means of a combination of fencing, landscaping, berming, and/or building placement. Landscaping shall be placed outside and along the perimeter of the fence to soften the appearance of the fence. Landscaping shall consist of a minimum of 2 trees and 5-10 shrubs per 100 feet of fence.
13. Pole-mounted lighting shall be limited to 20 feet in height. All light fixtures shall be downcast style fixtures. Reflected glare or spill light from all exterior lighting shall not exceed 0.1 foot-candle measurement on the property line when adjoining residential zoned and 1 foot-candle measure on the property line when such line adjoins a similar zone and land use.

**Parking/Access/Transportation – 1001.19:**

14. The total parking spaces on the concept plan is 77. Depending on the maximum number of non-office employees on a given shift, this number may be sufficient for meeting the parking requirements established in the Zoning Ordinance. This information shall be verified during the next round of applications.
15. Parking stall dimensions shall comply with the Zoning Ordinance standard of 10' x 20'. Parking stall length may be reduced to 18' if there is sufficient room for overhang.
16. Per the Zoning Ordinance, parking spaces shall not be located between the front façade line of the building and the street edge.
17. Parking rows shall be limited to a maximum length of 22 spaces. Longer rows shall include landscaped breaks, such as islands, with shade trees.

**Landscaping:**

18. Lot landscaping shall be consistent with [Zoning Ordinance Section 1001.24](#). A landscaping plan shall be submitted as part of the preliminary plat package.

**Wetlands and Buffer:**

19. The required wetland buffer to be established on the property must be an average of 25 feet in width along all wetlands on the property, with a minimum width of 10 feet. The buffer is to be



June 5, 2025

Telcom Concept Planning & Zoning Review

treated the same as the wetland. Based on the concept provided, the buffer area shown does not meet the 25 foot average.

---

To:	Jon Sevald	From:	Jason Quisberg, Engineering Nick Findley, Engineering
Project:	Telcom Concept Plan	Date:	May 27, 2025

---

**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Telcom Concept Plan by Contour Civil Design, undated, 1 sheet

**Comments:**General

1. The concept reviewed comprises a total area of 8.43 acres along West French Lake Road and 121<sup>st</sup> Ave. This property was originally subdivided as a part of the Dayton Field 4<sup>th</sup> Addition.
2. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
3. These review comments are essentially very high level; the concept plan provides little detail beyond building and parking lot locations. Ultimately, a complete plan submittal will be required, providing detailed site plans, grading and drainage plans, water and sewer utilities, a preliminary plat, and other detailed plans as required by the City.
4. Existing easements and any planned or proposed easements, including conservation easements should be identified, and, if present, the layout adjusted accordingly.
5. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, land-use, and other applicable codes of the City of Dayton.
6. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
7. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of 121<sup>st</sup> Ave or West French Lake Road without the City's permission. Should any lane restrictions be necessary, the Contractor shall notify the City at least 48 hours in advance and provide a Traffic Control Plan.
8. Outlots shall be covered by drainage and utility easements.
9. Publicly and privately maintained facilities (streets, utilities, detention ponds, etc.) will need to be identified clearly, including maintenance responsibilities.
10. Work is taking place on adjacent properties, including remaining punchlist items. Coordination may be required.
11. Potential improvements to the existing pond may take place, coordination may be required. The timeline is unknown, but it is anticipated that the improvements will be 2+ years out.

### Plat

12. Drainage and utility easement shall encompass the HWL of all on site wetlands, BMPs, and drainage conveyance systems.

### Erosion Control/SWPPP

13. A MPCA/NPDES construction stormwater permit is required for the site. Sediment and erosion control plans shall be consistent with the general criteria set forth by the most recent versions of the Minnesota Stormwater Manual and the NPDES Construction site permit.

### Wetlands

14. Wetlands appear to have been delineated with an approved replacement plan for this site. This should be evaluated further as the plans develop to ensure the proposed impacts do not change.
15. During future submittals the wetland buffers will be reviewed to ensure they meet the requirements of the City of Dayton and Elm Creek Watershed Management Commission.

### Site Plans

16. The proposed parking stall dimensions conflict with the standards laid out in the City of Dayton code.
17. The proposed entrance is to be built to the commercial driveway apron standard detail.

### Grading /Stormwater

18. A complete stormwater management plan shall be included in the preliminary plat application. The Stormwater Management Plan should follow Dayton and MPCA stormwater rules and regulations. The reports should include rate control for the 2-,5-,10-,100-year 24-hour MSE 3 rainfall events. Dayton requires load reduction achieved by abstracting 1.1 inch from net new impervious or no net increase in TP or TSS, whichever is lower. In addition, a complete grading and drainage plan must be provided, showing how the street, lot, and ponding areas are proposed to be graded. Information must also be provided showing all high-water levels, proposed building floor elevations, and other critical features. In addition, a stormwater application with the Elm Creek Watershed will be required. The applicant shall ensure that stormwater management devices are provided to meet City of Dayton and Elm Creek Watershed standards.
19. Grading shall allow adequate areas for buffering along 121st Ave and West French Lake Road. It is anticipated that grading and drainage along 121st Ave and West French Lake will be consistent with the existing corridor and not include abrupt changes in grading.
20. For the preliminary plat application, a complete grading plan shall be provided which includes proposed grades, identification and labeling of all emergency overflow elevations (EOF's), identification of proposed grades and all drainage swales, and any other topographic information relevant to site design.
21. A City of Dayton Land Disturbance Permit will be required.

22. Overall runoff and drainage related to this development will overlap with adjacent properties. The stormwater management plan must show how runoff and detention areas between properties are being routed and accounted for in an overall plan. In other words, the stormwater management plan must address runoff and discharge from both a local (this development) and a regional approach that includes the neighboring properties and roadways.
23. Any ponds or detention areas shall have a 10' maintenance access around pond with appropriate grading for access by maintenance vehicles.
24. The maintenance of stormwater detention areas will need to be defined.
25. The existing conditions are defined as the land cover prior to the introduction of agricultural land in Dayton. The existing model should incorporate pre-agricultural land values as referenced in the stormwater manual. A CN value of 58 shall be used in HSG B soils and a CN of 32 shall be used in HSG A soils for existing condition analyses 72 for HSG C and 79 for HSG D, off-site existing may be modeled as currently developed.
26. A Hydrocad report shall be submitted with the preliminary plat documents for complete stormwater review.
27. Upon further design, low floors adjacent to ponds/wetlands/other depressions must have 2 foot of freeboard above the modeled 100-yr high water level (HWL). This includes offsite low and depression areas adjacent to this site.
28. The City of Dayton's Local Surface Water Management plans requires that the storm sewer system must be designed to handle a 10-year event.
29. Maximum grading within the lot is 4:1 with a minimum grade of 2% along drainage swales.

Watermain/Sanitary Sewer

30. Sanitary sewer and watermain connections to the site are not shown within the current plan. This will be evaluated in future submittals.

**End of Comments**

**ITEM:**

Dayton Interchange Business Center, Preliminary Plat, Site Plan (Scannell)

**APPLICANT/PRESENTERS:**

Scott Moe, Scannell Properties  
Trevor Conway, Sambatek

**PREPARED BY:**

Jon Sevald, Community Development Director

**BACKGROUND/OVERVIEW:**

The plat will combine two parcels into one 14 acre lot. The Site Plan proposes a 126,000 sq ft spec office/warehouse building with 28' clear height. The project was previously approved in 2022, but unbuilt due to a change in market demand. The revised project proposes to flip the orientation of the building such that it faces Territorial Road, with dock doors facing CSAH 81.

**CRITICAL ISSUES:**

- |                |  |
|----------------|--|
| 1. Dock Doors  | Dock Doors are prohibited from facing arterial roadways (CSAH 81). The Planning Commission previously discussed, providing an opinion dock doors should not face 81, but might be acceptable if it results in a better site layout, and if the building design is such that it minimizes the appearance of the dock doors. |
| 2. Landscaping | 92 ornamental trees are required. None are proposed.   |

**ANALYSIS:**

Comprehensive Plan	Future Land Use is guided Commercial (west parcel) and Industrial (east parcel). West parcel zoning is a remanent from when the Dayton Parkway corridor was zoned Commercial (pre-2023(?)).
Zoning	The properties are zoned I-1 Light Industrial. Permitted Industrial uses include contractors operation, light industrial, printing and publishing, indoor recycling, warehouse, and wholesaling.
Parking	63 stalls are required. 144 stalls are proposed.
Accessory Trailer Parking	Accessory semi-trailer parking is permitted with a 35:1 ratio, e.g. up to 44,100 sq ft. <sup>1</sup> 8,500 sq ft is proposed (14 stalls). Up to 2-acres of outdoor storage is permitted. <sup>2</sup> Only the 14 stalls are proposed (0.2 acres).
Impervious Surface	80% maximum. 47% proposed.

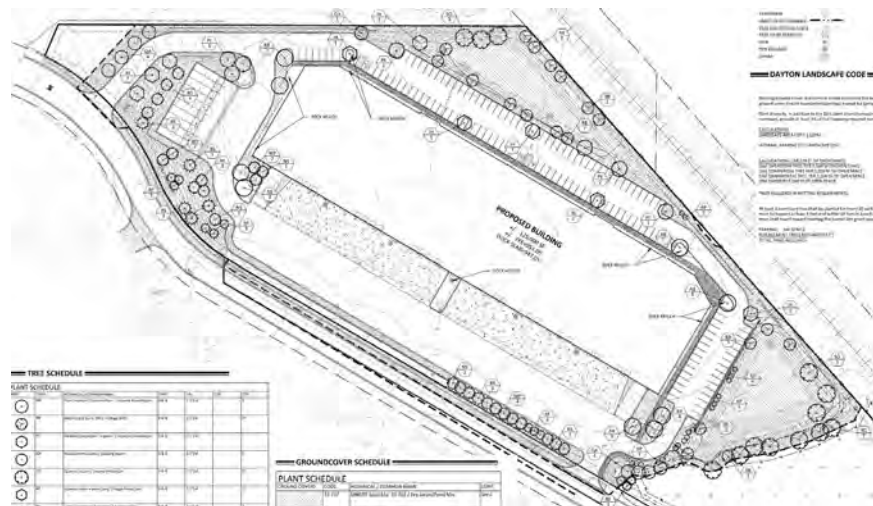
<sup>1</sup> City Code 1001.062, Subd 2(3)(f) (*Accessory semi-trailer parking*).

<sup>2</sup> City Code 1001.062, Sugd 2(4) (*Outdoor storage*).

Screening

Dock Doors along CSAH 81 (minor arterial) is prohibited, but otherwise requires adequate screening.<sup>3 4</sup> Screening consists of existing scattered trees within railroad ROW. For comparison, the adjacent OPUS project (132,000 sq ft) was permitted with dock doors and trailer storage along CSAH 81 and Dayton Parkway. A different orientation had been considered but determined this was a more efficient layout.

Building elevations include 2 drive-in bays, 16 dock doors, and 15 knockout dock doors (up to 33 doors).



Approved 2022 Site Plan with dock doors facing Territorial Road.

Landscaping<sup>5</sup>

	Required	Proposed
Over-story trees	46	46
Ornamental trees	92	0
Evergreen Trees	46	46
Shrubs	1,362	1,362

Setbacks<sup>6</sup>

Building and parking setbacks are compliant.

**60/120-DAY RULE (IF APPLICABLE):**

<sup>3</sup> City Code 1001.062, Subd 2(4)(i); *Outdoor Storage areas shall not be adjacent to roads classified as either major or minor arterials and the storage area shall not abut any land guided residential.*

<sup>4</sup> City Code 1001.062, Subd 2(3)(e); *All loading and service areas shall be adequately screened from collector streets and abutting residential and business districts. Service traffic shall be separated from employee/Visitor traffic. Whenever such developments abut Residential Districts, their interior road patterns shall be arranged in such a way as to route service vehicle traffic away from residential. Screening plans shall be approved during the Site Plan review or Preliminary Plat.*

<sup>5</sup> City Code 1001.24, Subd 4(3) (Landscaping requirements)

<sup>6</sup> City Code 1001.063, Subd 1(6)

## PLANNING COMMISSION MEETING

---

	60-Days	120-Days
Preliminary Plat	-	Sep 5, 2025
Site Plan	Jul 3, 2025	Sep 5, 2025

### **RELATIONSHIP TO COUNCIL GOALS:**

*Encourage Diversity and Manage Thoughtful Development*

- *Encourage healthy lifespan of both residential and commercial operation*
- *Healthy Commercial Sector with services and job growth*

### **ROLE OF PLANNING COMMISSION:**

Conduct a Public Hearing. Motion to Approve (or Deny) Preliminary Plat and Site Plan.

### **RECOMMENDATION:**

Staff recommends Approval. It is reasonable for the dock doors to face CSAH 81 considering the 250'+ distance between CSAH 81 pavement and the dock trailer parking. Placement of the 14 trailer parking area is more subjective. If concerned, then the landscape plan should be modified to replaced proposed deciduous trees with coniferous trees along the railroad tracks.

### **ATTACHMENT(S):**

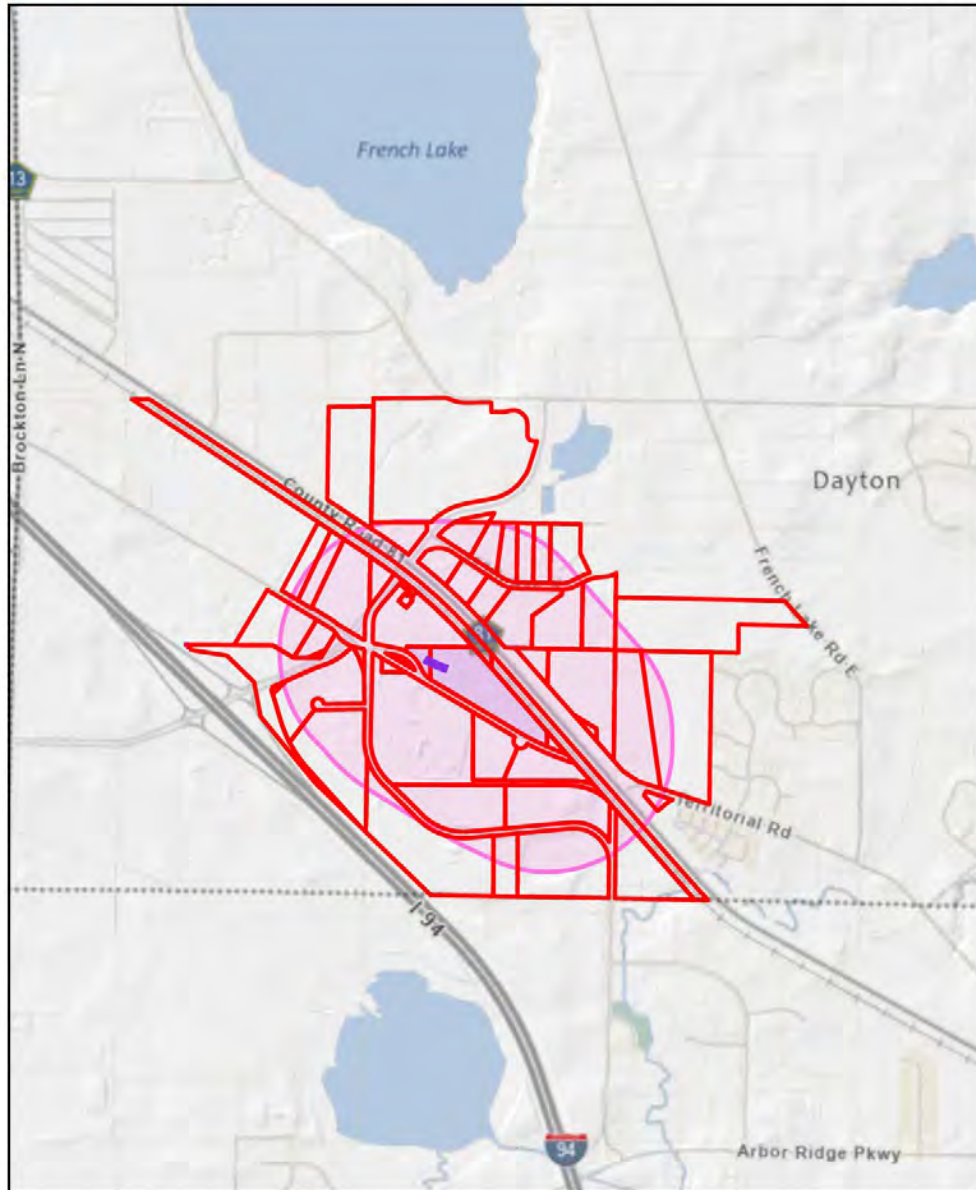
Public Hearing Notice Map  
Zoning Map  
Comprehensive Plan Map  
Aerial Photo  
Site Photos  
Engineering Review  
Resolution  
Plan Set





## Hennepin County Locate & Notify Map

Date: 5/21/2025



**Buffer Size: 1320**

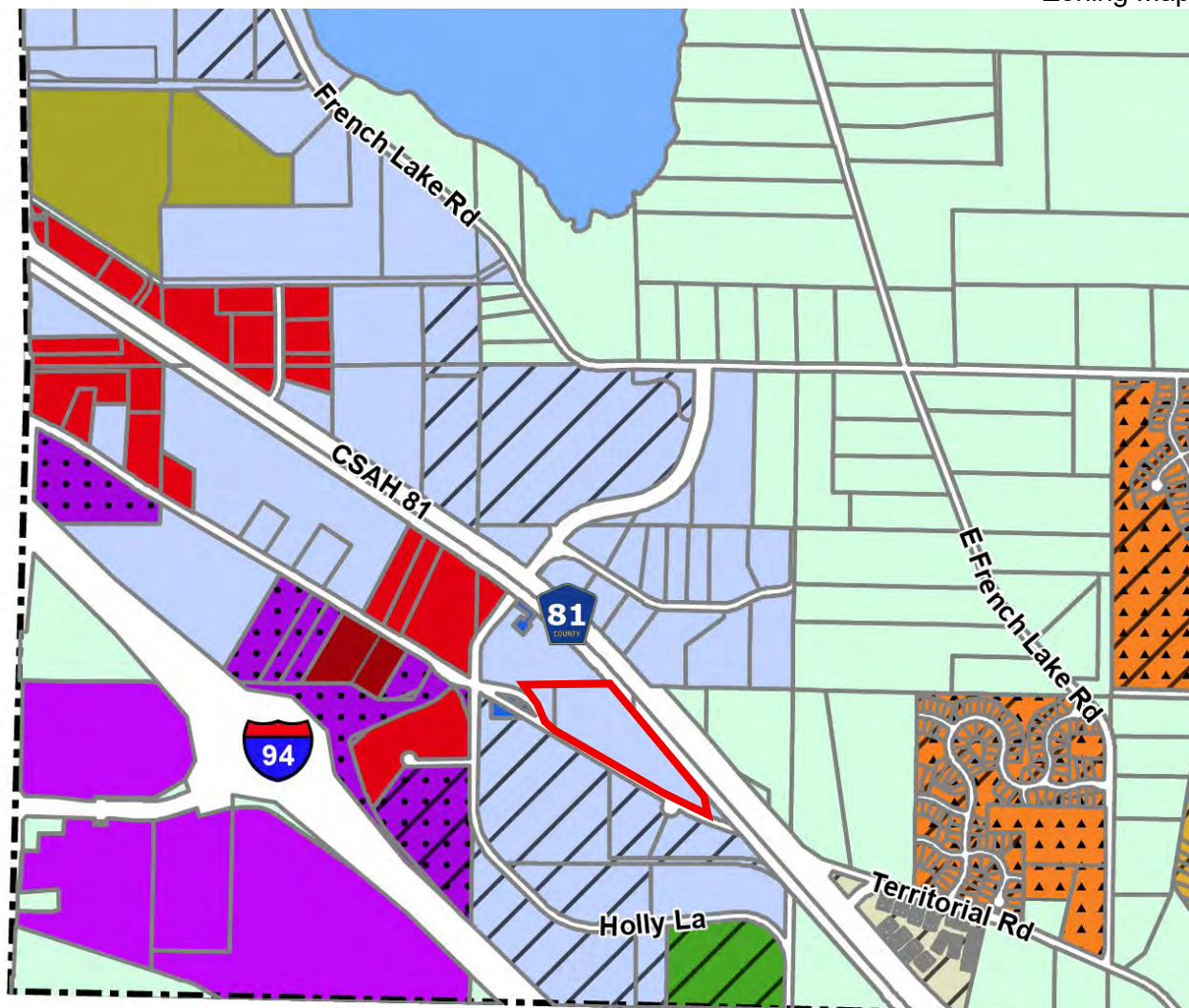
**Map Comments:**

0 385770 1,540 Feet  
[Scale bar with 5 segments]

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

For more information, contact Hennepin County GIS Office  
300 6th Street South, Minneapolis, MN 55487 / [gis.info@hennepin.us](mailto:gis.info@hennepin.us)

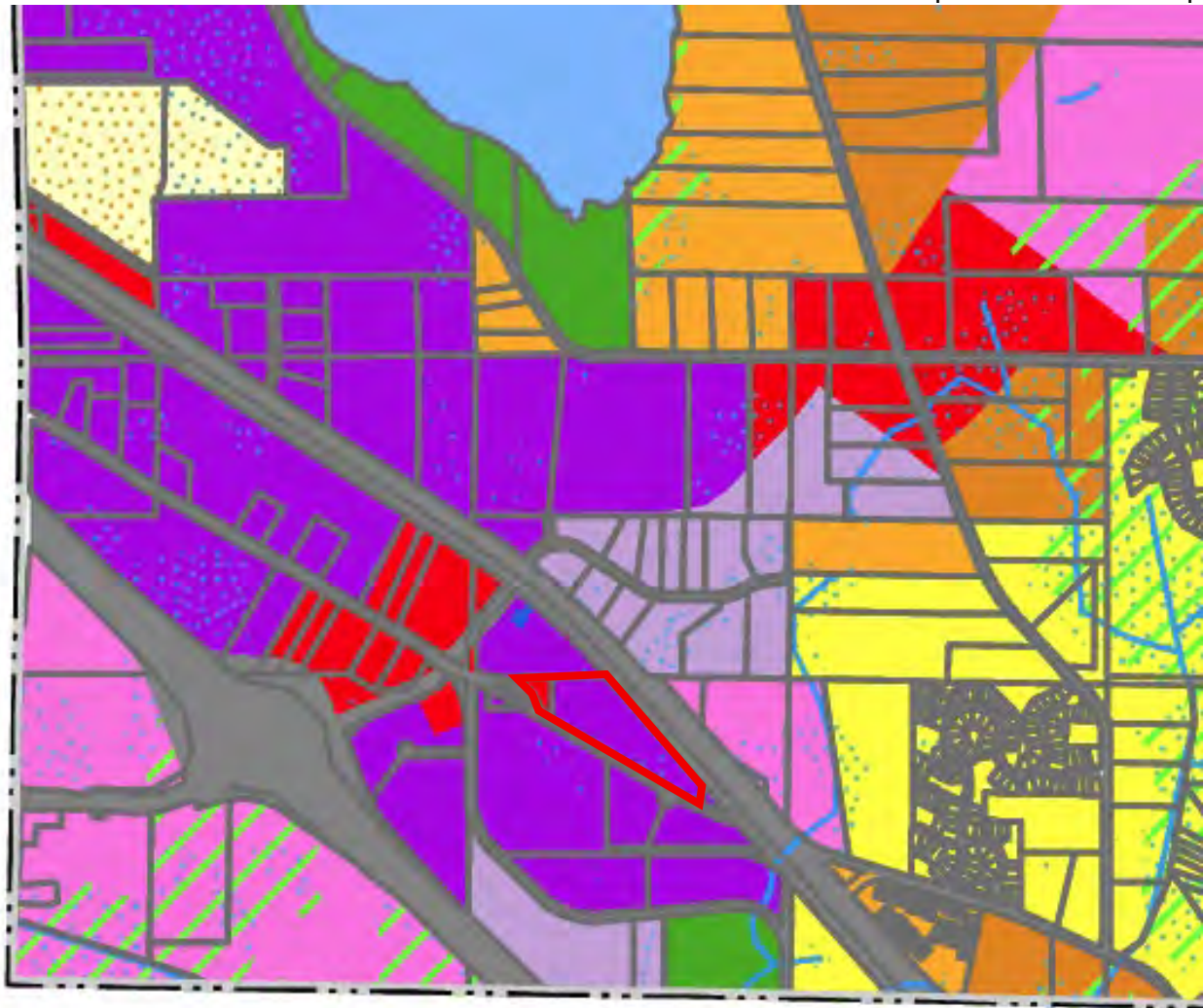




### Legend

- |                                     |   |
|-------------------------------------|---|
| A-1 Agricultural District           | R-1A Single Family Residential                    |
| A-2 Agricultural District           | R-2 Single Family District (90,000 Sf, Unsewered) |
| B-2 Neighborhood Business District  | R-3 Single Family and Attached Residential        |
| B-3 General Business District       | R-E Single Family District (5 Ac, Unsewered)      |
| B-4 Commercial/ Industrial District | R-M Medium Density Residential District           |
| B-P Business Park District          | R-MH Mobile Home District                         |
| ES Essential Service District       | R-O Old Village Residential                       |
| GMU-4 Balsam Lane                   | S-A Special Agriculture District                  |
| GMU-5 Southwest Mixed-Use           | GMU-3 Historic Village                            |
| I-1 Light Industrial District       | City Boundary                                     |
| P-R Public Recreation District      | PUD   |
| R-1 Single Family District          | County Parcels                                    |

Comprehensive Plan Map



- |  |                            |                            |                   |                      |
|--|----------------------------|----------------------------|-------------------|----------------------|
| Greenway Overlay                           | Rural Estate               | Existing Mobile Home Park  | Mixed Use         | Public/Institutional |
| Agricultural Preserve                      | Low Density Residential    | Master Planned Development | Business Park     | Open Water           |
| Existing Unsewered Low Density Residential | Medium Density Residential | Neighborhood Commercial    | Industrial        | Right-of-Way         |
| Existing Sewered Low Density Residential   | High Density Residential   | Commercial                 | Park & Open Space |                      |
|  |                            |                            | Golf Course       |                      |







Site Photos



*Panoramic view, SE to NW (looking west), along CSAH 81. (photo May 28, 2025).*



*Opus building (example of dock doors along CSAH 81). Panoramic view, SE to NW (looking west), along CSAH 81 (photo May 28, 2025).*



*Near SE corner of property looking SW (photo May 28, 2025).*



## PLANNING COMMISSION MEETING

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*Near RR tracks & NW corner of east wetland, looking West-Northwest. Opus in upper right corner (photo May 28, 2025).*



*Near SW corner of property, looking SE along Territorial Road (photo May 28, 2025).*

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To: Jon Sevald, City of Dayton

From: Jason Quisberg, Engineering  
Nick Findley, Engineering  
Josh Accola, Engineering

Dayton Interchange Business Center

Date: May 27th, 2025

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**Exhibits:**

1. Dayton Interchange Business Center ALTA by E. G. RUD & SONS, INC., dated 5/12/2020, 1 sheet.
2. Dayton Interchange Business Center Preliminary Plat by E. G. RUD & SONS, INC., dated 5/22/2025, 1 sheet.
3. Permit Submittal for Dayton Interchange Business Center, dated 06/29/2022, by Sambatek, undated, 28 sheets.
4. Preliminary Stormwater Management Plan for Dayton Interchange Business Center, dated 5/1/2025, by Sambatek, 245 pages.

**Comments:**General

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, land-use, and other applicable codes of the City of Dayton.
3. There have been discussion at the planning commission level regarding the orientation of the building. These discussions should be continued and considered as a part of this submittal.
4. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
5. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of Territorial Road without the City's permission. Should any lane restrictions be necessary, the Contractor shall notify the City at least 48 hours in advance and provide a Traffic Control Plan.
6. Any underlying easements no longer necessary must be vacated.
7. Outlots shall be covered by drainage and utility easements.
8. Work is shown within close proximity of the property line. Ensure any necessary agreements are in place if the work shown requires encroaching on adjacent properties.
9. Pavement section detail calls out "heavy duty concrete pavement" but shows bituminous pavement.
10. Coordinate with Engineering Department for the up to date standard details.

May 27, 2025

Dayton Interchange Business Center

Jon Sevald

Page 2 of 4

### Wetlands

11. Wetland buffer signs do not follow the boundary of the buffer. Revise so the signage clearing indicates the buffer area.
12. Wetland impacts appear to have already been permitted. If impacts change with the newly proposed design, it will have to go through the permitting process for the changes.

### Site Plans

13. Provide stop signs where vehicles are to exit the site onto Territorial Road.
14. The eastern entrance is a different width than the western entrance. Provide additional information on the traffic configuration or other factors that caused the variance in width.
15. Revise hatching of driveway entrances to match the design laid out in the commercial concrete driveway apron with sidewalk standard detail plate.
16. The parking spaces appear to be out of compliance with the City Code. Some areas appear to impact pedestrian movement conflicting with the overhang requirements.

### Erosion Control/SWPPP

17. "The temporary basin must provide live storage for a calculated volume of runoff from a two (2)-year, 24-hour storm from each acre drained to the basin or 1,800 cubic feet of live storage per acre drained, whichever is greater. Where permittees have not calculated the two (2)-year, 24-hour storm runoff amount, the temporary basin must provide 3,600 cubic feet of live storage per acre of the basins' drainage area." This is required as noted in section 14.3/4 of the MPCA Construction General Permit. As stated in previous comments, **please provide grading and outlet detail for temporary sediment basin (if different than filtration basin grading or outlet)** so contractor will understand where it will be located and how it will be graded. Currently, sediment basin sizing is not clear. Sheet C5.01 notes tributary area is 9.38 acres but calculated required live storage volume based on 6.44 acres. Additionally, outlet structure is not clear. Please provide a detail or more information so the temporary sediment basin live storage can be evaluated.
18. Please change note on SWPPP to require erosion control blankets on 4:1 slopes or steeper. Erosion control blanket must be applied on any slope's steeper than or equal to 4:1. Erosion control blanket appears to be unaccounted for. Erosion control material quantities (C5.02) do not include erosion control blanket although there are many slopes steeper or equal to 4:1.
19. Provide perimeter control around ponds in final conditions until upstream areas are stabilized.
20. Provide MPCA Construction Stormwater Permit Approval prior to construction and place permit number on SWPPP.

### Grading

21. There are multiple instances where grading spot elevations do not line up with the corresponding rim elevations. Revise to ensure that the elevations are consistent across the plans.
  - a. Provide the catch basin location and rim elevations on the grading plan.



May 27, 2025

Dayton Interchange Business Center

Jon Sevald

Page 3 of 4

22. Grading does not tie in along the western edge of the site. Revise so all proposed contours tie into existing contours.
23. Provide details including spot elevations and slopes of the proposed pedestrian ramps showing they are within ADA compliance.
24. Ensure accessible stalls meet ADA grading requirements.
25. Grading is shown less than 0.1% in some locations along the curb line. A minimum of 0.5% slope should be maintained along curb lines and other impervious drainage paths to ensure proper drainage.
26. There are multiple locations where grading is shown within excess of 4:1 grading. It is recommended that areas to be maintained are 4:1 or slighter to allow for maintenance activities. The maximum allowed slope is 3:1.
27. Steep slopes are shown between the loading bay and proposed bituminous ramp into the building. A railing or other safety measure may be needed along the ramp.

#### Stormwater

28. Provide defined/graded overland EOF for both dry ponds and show/label on grading plans. EOF shall be 1 foot above HWL or higher.
29. Proposed drainage map watersheds are difficult to discern. Please bring subwatershed boundaries to the front of all other layers.
30. A 10-foot maintenance bench at a 10:1 slope or flatter should be placed beginning 1-foot above the pond's EOF outlet elevation. This bench should be tied into an access path connecting to a street, parking lot, or other point of entry for maintenance vehicles.
31. Even mean concentrations table in narrative is currently mislabeled. TSS and TP factors should be switched.
32. MIDS model currently assumes that existing phosphorus EMC is 0.737 mg/L. Please adjust to 0.533 mg/L per MN Stormwater Manual guidance.
33. Existing and proposed MIDS model only models 9.36 acres when Subcatchments containing disturbed area (subcatchments S1, S2, and S6) are closer 9.91 acres. Please model entire site or explain the reason for the discrepancy. Dayton does not have a specific removal efficiency required, but rather follows Elm Creek WMC's no net increase in TSS and TP loading.
34. Provide details on plans for Up-Flo filter to ensure it is sized appropriately
35. Stormwater Maintenance Agreement should indicate that maintenance access to ponds is via parking lot and that City has permission to enter if owner does not maintain pond.
36. Landscaping plans show trees/shrubs in access area. Remove trees/shrubs from stormwater pond access. Access must be provided for MTDs as maintenance will be critical to ensure proper functioning.
37. Provide casting table showing the proposed manhole and casting number.

#### Sanitary Sewer

Design with community in mind



May 27, 2025

Dayton Interchange Business Center

Jon Sevald

Page 4 of 4

- 38. Sanitary sewer pipe material to comply with the materials shown in standard detail plate GEN-12.  
Based on depth, the service would be required to be SDR-35.
- 39. Sanitary sewer service is shown as 18" while the sanitary sewer located within Territorial Road is 8".
- 40. Provide 2% slope on the proposed sanitary sewer service per the building code.
- 41. Provide a 0.1' of drop in the invert of the manhole per the standard detail plates.

#### Watermain

- 42. Existing service stubs are provided to the site, new connections requiring the disturbing of the street will not be allowed. Revise to use existing stubs or hydrant leads (hydrant to be reinstalled in the boulevard near the connection).
- 43. It appears that there are possible locations of conflict with the proposed storm sewer. Ensure conflicts are reviewed and watermain offsets are provided in the necessary locations.
- 44. 90-degree bends are not allowed, revise to be two 45-degree bends.
- 45. Watermain connections are to be split to fire and domestic outside of the building per standard detail plate SER-07.

**End of Comments**

**RESOLUTION No. \_\_-2025**

**CITY OF DAYTON  
COUNTIES OF HENNEPIN AND WRIGHT  
STATE OF MINNESOTA**

**A RESOLUTION APPROVING THE PRELIMINARY PLAT AND SITE PLAN OF  
DAYTON INTERCAHNGE ADDITION**

**WHEREAS**, Scott Moe, Scannell Properties (Applicant) applied for approval of the Preliminary Plat of *Dayton Interchange Addition*, and Site Plan Review. The property is located at:

PID: 31-120-22-41-0010

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Sournthwest Quarter of Section 32, all in Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner of the east line of said Section 31; thence westerly along the north line of said Section 31 a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intesection with a line drawn southerly, parallel to the west line of Section 32, Township 120, Range 22, from a point on the north line of said Section 32 distance 36 rods (594 feet) east from the Quarter Section corner on the west line of said Section 32; thence northerly along said parallel line to the north line of said section 32; thence westerly along said north line to the point of beginning.

**EXCEPT**

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows: Commencing at the Quarter Section corner on the west line of said Section 32; thence running east on the north line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the west line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the north line of said Southwest Quarter; thence easterly along the north line of said Southweset Quarter 350.73 feet to the point of beginning.

**ALSO EXCEPT**

Railroad right of way and roads.

**AND**

PID: 31-120-22-41-0005

Lot 1, Block 1, Wicht Industrial Park, Hennepin County, Minnesota.

**WHEREAS**, the 2040 Comprehensive Land Use Plan guides PID: 31-120-22-41-0005 as Commercial. The proposed use is a parking lot. PID: 31-120-22-41-0010 is guided as Industrial. It's



proposed use is an industrial related business. The proposed uses are consistent with the intent of the Comprehensive Plan (Future Land Use); and,

**WHEREAS**, the properties are zoned I-1 Light Industrial, intended to provide for the establishment of warehousing and light industrial development; and,

**WHEREAS**, the Planning Commission held a Public Hearing on June 5, 2025. A Public Hearing Notice was published by THE PRESS on May 22, 2025, and mailed to property owners within 1,320' of the project; and,

### **PRELIMINARY PLAT**

**WHEREAS**, in consideration of the application, the Staff Report, public testimony, and consistent with City Code 1002.05, Subd 1(2)(f)(4) (Planning Commission Action), the Planning Commission recommended APPROVAL with the following **Findings**;

- (a) That the proposed subdivision is **NOT** in conflict with the City's Comprehensive Plan, Zoning Ordinance, Capital Improvements Program, or other policy or regulation.*
- (b) That the proposed subdivision is **NOT** in conflict with the purpose and intent of this chapter.*
- (c) That the physical characteristics of the site, including but not limited to topography, vegetation, susceptibility to erosion, and siltation, susceptibility to flooding, water storage, and retention, are such that the site **IS** suitable for the type of development or use contemplated.*
- (d) That the site **IS** physically suitable for the intensity or type of development or use contemplated.*
- (e) That the design of the subdivision or the proposed improvements are **NOT** likely to cause substantial and irreversible environmental damage.*
- (f) That the design of the subdivision or the type of improvements will **NOT** be detrimental to the health, safety or general welfare of the public.*
- (g) That the design of the subdivision or the type of improvement will **NOT** conflict with easements on record or with easements established by judgment of a court.*
- (h) That the subdivision is **NOT** premature as determined by the standards of Subsection 1002.03 of this section.*

**NOW, THEREFORE, BE IT RESOLVED**, in consideration of the application, Staff Report, Public Testimony, and Planning Commission recommendation, the City Council APPROVES the Preliminary Plat with the following conditions:

1. Prior to Final Plat approval, applicable plans shall be revised to comply with the City Engineer's memo, dated May 27, 2025.
2. Prior to Final Plat approval, the project shall obtain approvals from Elm Creek Watershed District.
3. Prior to Final Plat approval, plans shall be revised to comply with City Code 1001.062, Subd 1(10) (*Pedestrian environment*).
4. Prior to Final Plat approval, plans shall be revised to connect the sidewalk in front of the building to the public sidewalk along Territorial Road (City Code 1001.19, Subd 2(6)(2)(b)).

5. Prior to Final Plat approval, Landscape plans shall be revised to comply with City Code 1001.24, Subd 4(3) regarding the number of plantings (e.g. ornamental trees).

### **SITE PLAN AND BUILDING PLAN**

**WHEREAS**, City Code 1001.25, Subd 3 requires a Final Site and Building Plan to be approved by the City Council prior to the issuance of any permits for new development or building construction/expansion in any non-residential zoning district. Dayton Interchange Addition is a new development subject to a Final Site Plan and Building Plan; and,

**NOW, THEREFORE, BE IT RESOLVED**, that the City of Dayton City Council Approves the Site Plan and Building Plan with the following conditions:

1. Building façade shall include minimum of 25% window coverage on each front that faces a street (e.g. Territorial Road), consistent with City Code 1001.062, Subd 1(a)(3). Building elevation plans shall detail the % of window coverage.

Adopted by the City Council of the City of Dayton on this 24<sup>th</sup> day of June, 2025.

---

Dennis Fisher, Mayor

ATTEST:

---

Amy Benting, City Clerk

*Motion by* \_\_\_\_\_. *Second by* \_\_\_\_\_.

*Resolution **Approved***



ALTA/NSPS LAND TITLE SURVEY

~for~ SCANNELL PROPERTIES  
~of~ Leroy and Selma Stern Parcel  
17XXX Territorial Road  
Dayton, MN

CERTIFICATION

I hereby certify to Scannell Properties, LLC, an Indiana limited liability company, Leroy F. Stern and Selma E. Stern, as joint tenants, and to First American Title Insurance Company National Commercial Services, as issuing agent for First American Title Insurance Company that this is a survey of:

Real property in the City of Dayton, County of Hennepin, State of Minnesota, described as follows:

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Southwest Quarter of Section 32, all In Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner on the East line of said Section 31; thence westerly along the North line of said Section 31, a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intersection with a line drawn southerly, parallel to the West line of Section 32, Township 120, Range 22, from a point on the North line of said Section 32, distant 36 rods (594 feet) east from the Quarter Section corner on the West line of said Section 32; thence northerly along said parallel line to the North line of said Section 32; thence westerly along said North line to the point of beginning.

EXCEPT

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows:

Commencing at the Quarter Section corner on the West line of said Section 32; thence running east on the North line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the West line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the North line of said Southwest Quarter; thence easterly along the North line of said Southwest Quarter 350.73 feet to the point of beginning.

ALSO EXCEPT

Railroad right of way and roads.

and Is based upon information found in the commitment for title insurance prepared by First American Title Insurance Company National Commercial Services, as Issuing agent for First American Title Insurance Company, File No. NCS-997342-CH12, dated effective January 17, 2020 at 8:00 A.M., and that all easements, if any, listed in Schedule B-II on the herein referenced commitment for title insurance, are shown hereon; and that this map or plat and the survey on which It is based were made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and (ii) pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as a land surveyor licensed in the State of Minnesota, the Relative Positional Accuracy of this survey does not exceed that which is specified therein and includes Items 1, 2, 3, 4, 5, 6, 8, 11 (location of utilities per visible, above ground on-site observation and available mapping), 13, 16, 17, 18, 19, 20 of Table A thereof. The field work was completed on February 5th, 2020, February 12th, 2020, and March 24th, 2020.

I further certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date: 5/12/2020

E.G. Rud & Sons, Inc.

PRELIMINARY

Jason E. Rud, Land Surveyor  
Minnesota License No. 41578

GENERAL NOTES

- Fee ownership is vested in Leroy F. Stern and Selma E. Stern, as joint tenants. Parcel ID Number: 31-120-22-41-0010.
- Address of the surveyed premises: No address is currently assigned.
- Bearings shown hereon are based on the Hennepin County Coordinate System.
- Surveyed premises shown on this survey map are in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map Community No. 270157 Panel No. 0045 Suffix F by the Federal Emergency Management Agency, effective date November 4th, 2016.
- Boundary area of the surveyed premises: 564,450± sq. ft. (12.96 acres) [Area Includes Territorial Road R.O.W.].
- A zoning endorsement letter was not furnished to the surveyor. A search of the City of Dayton's web site indicates that the surveyed premises shown on this survey is currently zoned B-4 (Commercial/Industrial District). Under the applicable zoning regulations, the current setbacks are:

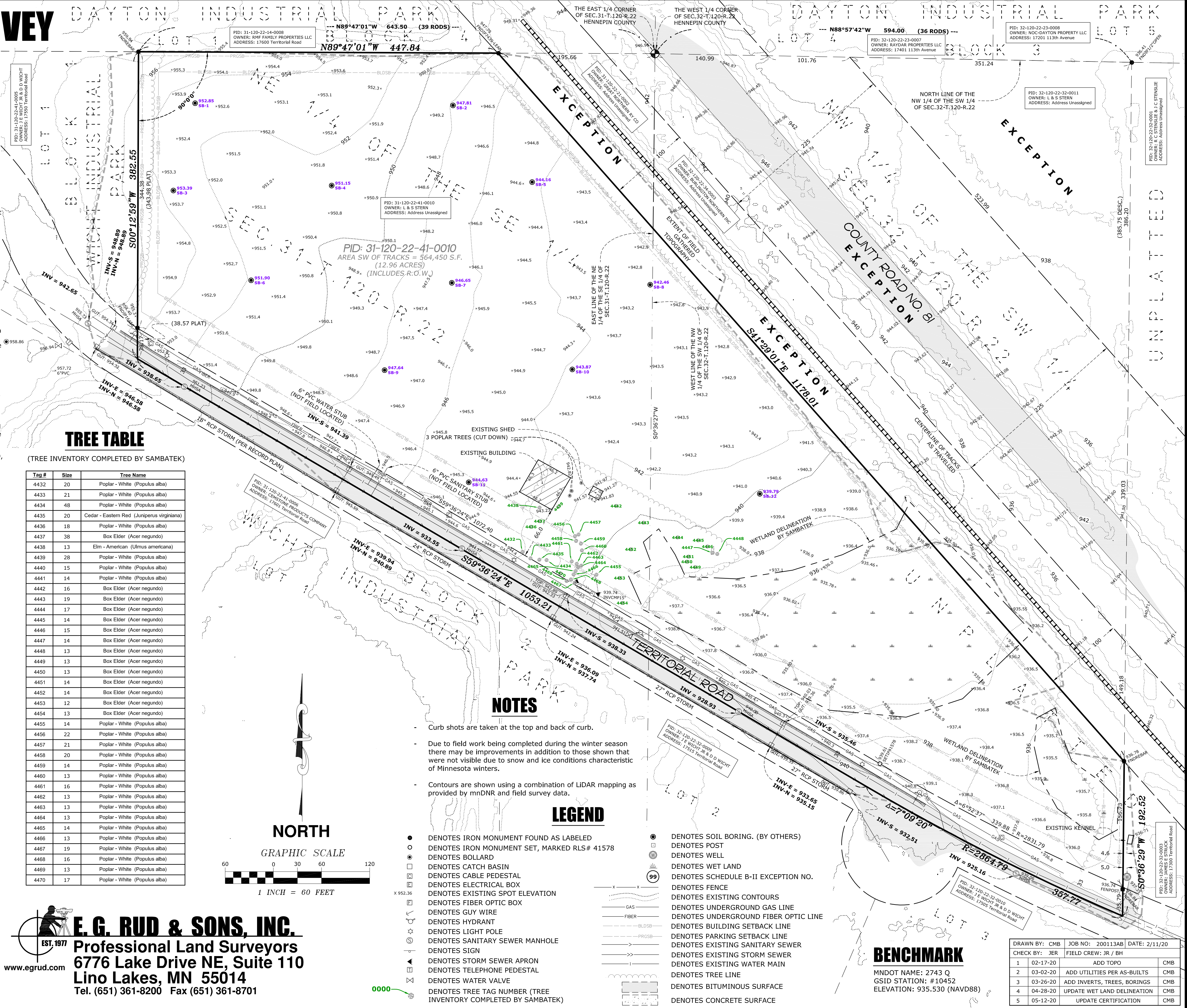
Building: Front = 50 (60) feet  
Side = 25 (50) feet  
Rear = 20 (50) feet

\*Setbacks in parentheses apply adjacent to R-1 - RH Residential Districts.

Parking: Front = 20 (20) feet  
Side = 5 (20) feet  
Rear = 15 (20) feet

For additional information contact the Planning Department at the City of Dayton at (763)-712-3221.

- There are 0 marked or striped parking areas onsite. (0 regular, 0 handicapped)
- The surveyed premises adjoins Territorial Road, a public street.
- Location of utilities existing on or serving the surveyed property determined by:
  - Observed evidence collected pursuant to Section 5.E.iv.
  - Record drawings provided by the City of Dayton's engineering department.
  - Markings requested by E.G. Rud and Sons, Inc. per Gopher State One Call Ticket No. 200350293.Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed premises.
- First American Title Insurance Company National Commercial Services, as Issuing agent for First American Title Insurance Company, Commitment No. NCS-997342-CH12, Schedule B-II Survey Related Exceptions:
  - Easements, or claims of easement, not shown by the Public Records.  
(Surveyor's Note: Improvements were located and are shown hereon.)
- Application and Authorization for Deferral of Special Assessments dated November 5, 2007, recorded June 11, 2008 as Document No. 9145505.  
(Surveyor's Note: Not plottable, not survey related.)
- Certificate to Registrar of Titles and County Recorder of Deferred Assessments dated November 20, 2019, recorded December 2, 2019 as Document No. A10730256.  
(Surveyor's Note: Not plottable, not survey related.)
- Subject to Territorial Road as laid out and travelled.  
(Surveyor's Note: Right-of-way for Territorial Road is shown per plat of DAYTON INDUSTRIAL PARK.)





# PRELIMINARY PLAT

~of~ DAYTON INTERCHANGE  
BUSINESS CENTER  
~for~ SCANNELL PROPERTIES #631

## EXISTING LEGAL DESCRIPTION

(Per Hennepin County Tax Information)

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Southwest Quarter of Section 32, all in Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner on the east line of said Section 31; thence westerly along the north line of said Section 31 a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intersection with a line drawn southerly, parallel to the west line of Section 32, Township 120, Range 22, from a point on the north line of said Section 32 distant 36 rods (594 feet) east from the Quarter Section corner on the west line of said Section 32; thence northerly along said parallel line to the north line of said section 32; thence westerly along said north line to the point of beginning.

EXCEPT

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows: Commencing at the Quarter Section corner on the west line of said Section 32; thence running east on the north line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the west line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the north line of said Southwest Quarter; thence easterly along the north line of said Southwest Quarter 350.73 feet to the point of beginning.

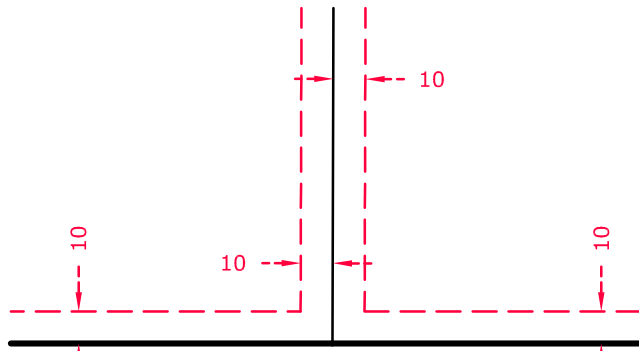
ALSO EXCEPT

Railroad right of way and roads.

AND

Lot 1, Block 1, WICHT INDUSTRIAL PARK, Hennepin County, Minnesota.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING SIDE LOT LINES  
AND BEING 12 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY  
LINES UNLESS OTHERWISE SHOWN ON THIS PLAT.

## EXISTING ZONING INFORMATION

PROPERTY IS CURRENTLY ZONED I-1 (LIGHT INDUSTRIAL DISTRICT)

### MINIMUM LOT DIMENSIONS

(PER DAYTON CITY CODE)

MINIMUM LOT SIZE = 1 ACRE  
MINIMUM LOT WIDTH = 150 FEET  
MINIMUM LOT DEPTH = 150 FEET  
MAXIMUM IMPERVIOUS COVERAGE = 80%

### MINIMUM BUILDING SETBACKS

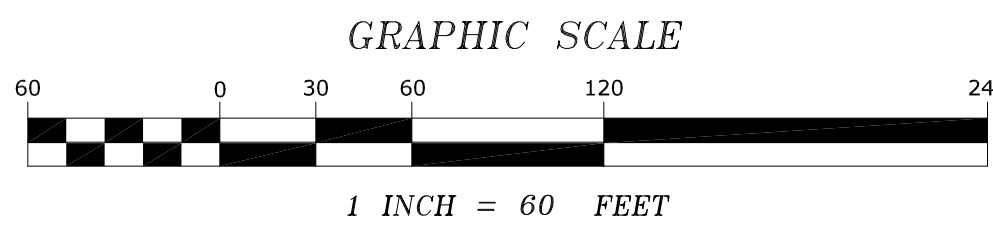
(PER DAYTON CITY CODE)

FRONT = 30 (50) feet - Plus 1 foot for every 1 foot of  
building height over 30 feet (maximum setback of 80 feet)  
SIDE YARD = 15 (40) FEET  
SIDE YARD (STREET) = 30 (40) FEET  
REAR YARD = 15 (50) FEET

\*Setbacks in parentheses apply adjacent to all Residential  
Districts. A 20 foot setback is required for any structure or  
parking adjacent to any other Residential District.

## PROPOSED LOT AREA INFORMATION

NAME	AREA
LOT 1, BLOCK 1	566,234 S.F. (13.00 ACRES)
TERRITORIAL ROAD	46,585 S.F. (1.07 ACRES)



## NOTES

- Curb shots are taken at the top and back of curb.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- Contours are shown using a combination of LIDAR mapping as provided by mndnr and field survey data.
- Site plan and proposed improvements provided by Sambatek.
- See separate Certificate of Survey for existing conditions and tree inventory.

## BENCHMARK

MNDOT NAME: 2743 Q  
GSID STATION: #10452  
ELEVATION: 935.530 (NAVD88)

DRAWN BY: CMB		JOB NO: 200113AB	DATE: 3/30/20
CHECK BY: JER		FIELD CREW: JR / BH	
1	4-1-20	ADD EXISTING CONTOURS	CMB
2	4-28-20	UPDATE WET LAND DELINEATION	CMB
3	9-28-21	UPDATE BOUNDARY	CMB
4	3-28-22	UPDATE SITE PLAN INFO	CMB
5	5/22/2025	UPDATE SITE PLAN INFO	BPN

**E.G. RUD & SONS, INC.**  
EST. 1977  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

I hereby certify that this survey, plan  
or report was prepared by me or under  
my direct supervision and that I am a  
duly Registered Land Surveyor under  
the laws of the State of Minnesota.

JASON E. RUD  
Date: 5/22/2025 License No. 41578



KNOW ALL PERSONS BY THESE PRESENTS: That Scannell Properties, LLC, an Indiana limited liability company, fee owners of the following described property situated in the County of Hennepin, State of Minnesota to-wit:

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Southwest Quarter of Section 32, all in Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner on the east line of said Section 31; thence westerly along the north line of said Section 31 a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intersection with a line drawn southerly, parallel to the west line of Section 32; Township 120, Range 22, from a point on the north line of said Section 32 distant 36 rods (594 feet) east from the Quarter Section corner on the west line of said Section 32; thence northerly along said parallel line to the north line of said section 32; thence westerly along said north line to the point of beginning.

EXCEPT

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows: Commencing at the Quarter Section corner on the west line of said Section 32; thence running east on the north line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the west line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the north line of said Southwest Quarter; thence easterly along the north line of said Southwest Quarter 350.73 feet to the point of beginning.

ALSO EXCEPT

Railroad right of way and roads.

AND

Lot 1, Block 1, WICHT INDUSTRIAL PARK, Hennepin County, Minnesota.

Has caused the same to be surveyed and platted as DAYTON INTERCHANGE ADDITION and does hereby dedicate to the public for public use the road and the easements for drainage and utility purposes as shown on this plat.

In witness whereof said Scannell Properties, LLC, an Indiana limited liability company, has caused these presents to be signed by its proper agent this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_, as \_\_\_\_\_

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, a \_\_\_\_\_ of Scannell Properties, LLC, an Indiana limited liability company.

\_\_\_\_\_, (Signature)

\_\_\_\_\_, (Print name)

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_  
This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Jason E. Rud.

\_\_\_\_\_, (Signature)

\_\_\_\_\_, (Print Name)

Notary Public, Anoka County, Minnesota  
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF DAYTON, MINNESOTA

This plat of DAYTON INTERCHANGE ADDITION was approved and accepted by the City Council of the City of Dayton, Minnesota, at a regular meeting thereof held this day of \_\_\_\_\_, 20\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF DAYTON, MINNESOTA

\_\_\_\_\_, (Mayor) \_\_\_\_\_, (Manager)

RESIDENT AND REAL ESTATE SERVICES, HENNEPIN COUNTY, MINNESOTA

I hereby certify that taxes payable in \_\_\_\_\_ and prior years have been paid for and the land described on this plat, dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mark Chapin, County Auditor By \_\_\_\_\_ Deputy

SURVEY DIVISION, HENNEPIN COUNTY, MINNESOTA

Pursuant to Minnesota Statutes Section 383B.565 (1969), this plat has been approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chris F. Mavis, County Surveyor By \_\_\_\_\_

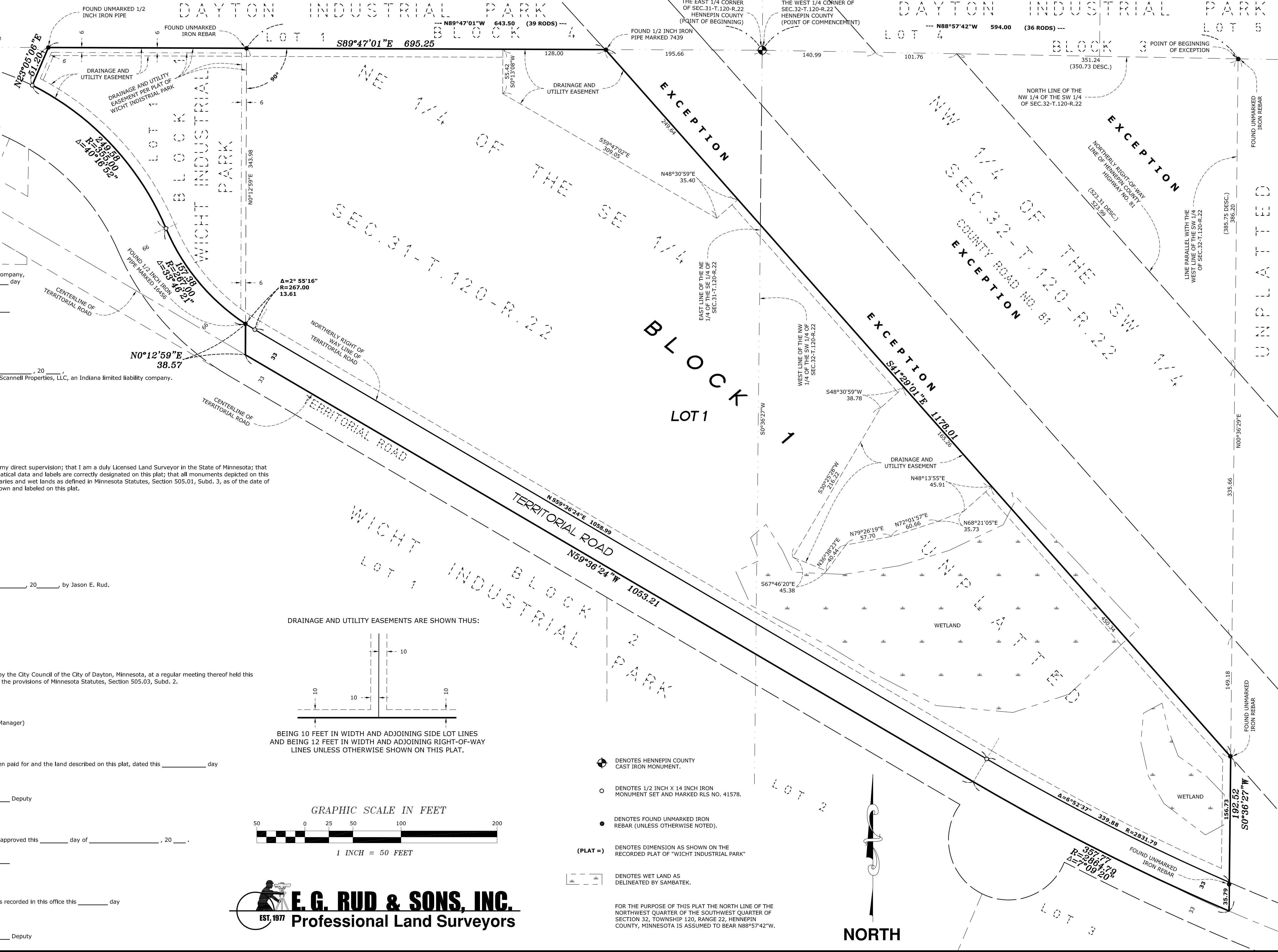
COUNTY RECORDER, HENNEPIN COUNTY, MINNESOTA

I hereby certify that the within plat of DAYTON INTERCHANGE ADDITION was recorded in this office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

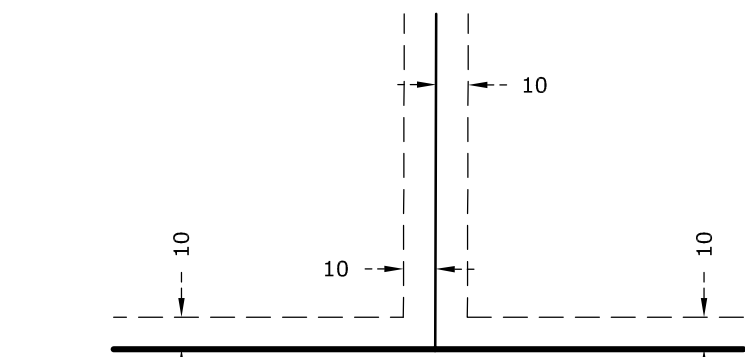
Martie McCormick, County Recorder By \_\_\_\_\_ Deputy

# DAYTON INTERCHANGE ADDITION

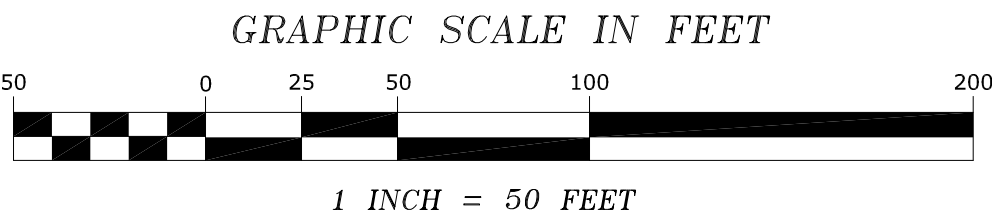
C.R. DOC. NO. \_\_\_\_\_



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING SIDE LOT LINES  
AND BEING 12 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY  
LINES UNLESS OTHERWISE SHOWN ON THIS PLAT.



- DENOTES HENNEPIN COUNTY CAST IRON MONUMENT.
- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET AND MARKED RLS NO. 41578.
- DENOTES FOUND UNMARKED IRON REBAR (UNLESS OTHERWISE NOTED).

(PLAT =) DENOTES DIMENSION AS SHOWN ON THE RECORDED PLAT OF "WICHT INDUSTRIAL PARK"

WETLAND DENOTES WET LAND AS DELINEATED BY SANBATEK.

FOR THE PURPOSE OF THIS PLAT THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 120, RANGE 22, HENNEPIN COUNTY, MINNESOTA IS ASSUMED TO BEAR N88°57'42"W.



24.15 (LWS TECH) | TREVOR CONWAY | 4/29/2025 3:04:30 PM  
L:\PROJECTS\53747\CAD\CIVIL\SHEETS\53747-CL01-TITLE.DWG-CL01 TITLE SHEET

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER  
SCANNELL PROPERTIES  
294 GROVE LANE EAST, SUITE 140  
WAYZATA, MN 55391  
TEL 763-331-8854  
DANS@SCANNELLPROPERTIES.COM  
CONTACT: DAN SALZER

CIVIL ENGINEER  
SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-259-6674  
TCONWAY@SAMBATEK.COM  
CONTACT: TREVOR CONWAY

ARCHITECT  
MOHAGEN HANSEN  
1000 TWELVE OAKS CENTER DRIVE, SUITE 200  
WAYZATA MN, 55391  
TEL 952-426-7470  
SPAETZEL@MOHAGENHANSEN.COM  
CONTACT: STEVE PAETZEL

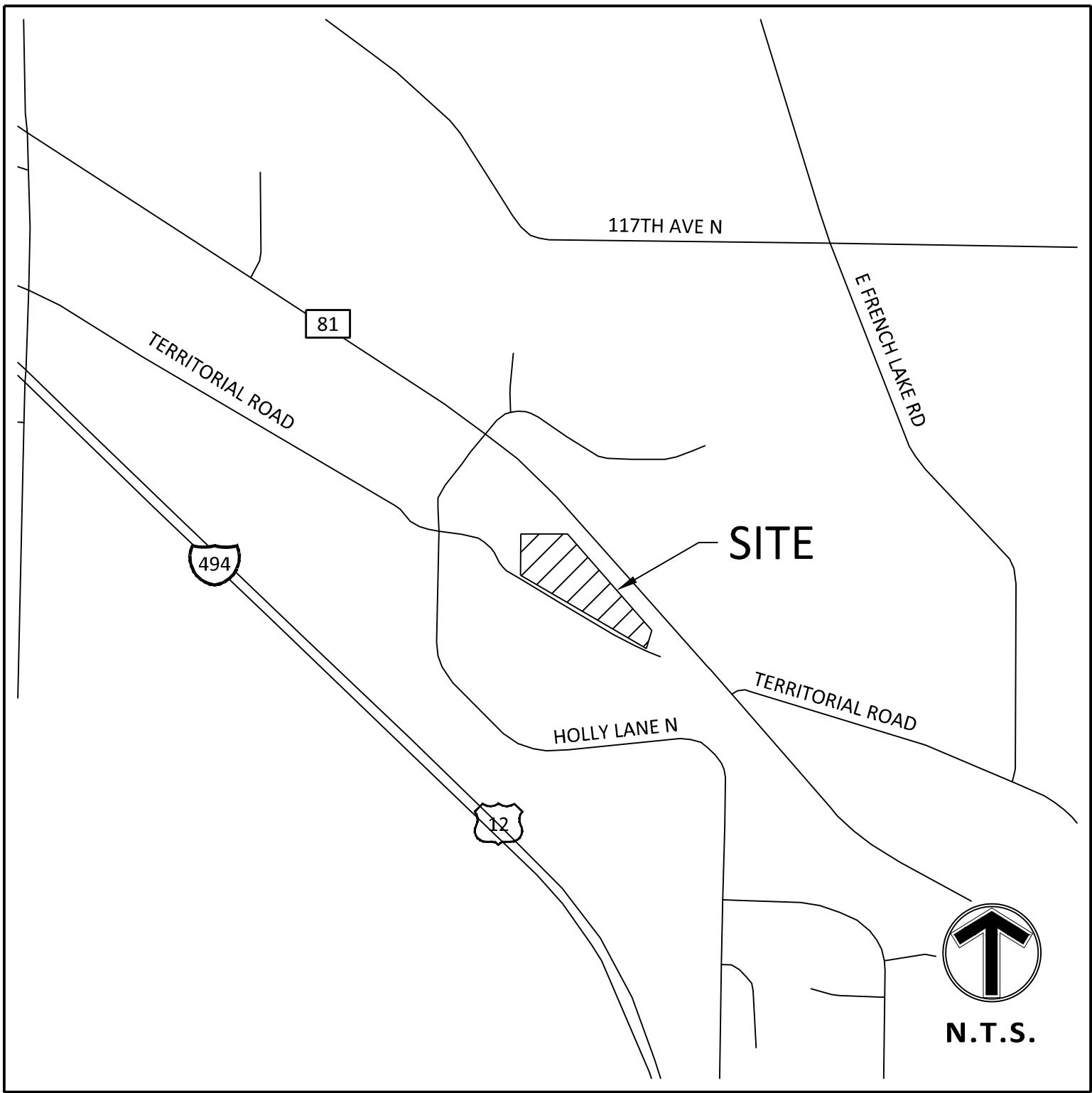
SURVEYOR  
E.G. RUD AND SONS  
6776 LAKE DRIVE NE, SUITE 110  
LINO LAKES, MN 55014  
TEL 651-361-8200  
JRUD@EGRUD.COM  
CONTACT: JASON RUD

GEOTECHNICAL  
AMERICAN ENGINEERING TESTING (AET)  
550 CLEVELAND AVENUE NORTH  
ST. PAUL, MN 55114  
TEL 651-523-1272  
MNELSON@AMENGTEST.COM  
CONTACT: MITCHELL NELSON

LANDSCAPE ARCHITECT  
SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-259-6684  
JWORKMAN@SAMBATEK.COM  
CONTACT: JOHNNIE WORKMAN

Permit Submittal  
for  
DAYTON INTERCHANGE  
BUSINESS CENTER  
Dayton, Minnesota

Presented by:  
SCANNELL PROPERTIES



VICINITY MAP  
NO SCALE

SHEET INDEX

SHEET NUMBER	SHEET TITLE	REVISION
C1.01	TITLE SHEET	
C2.02	DEMOLITION PLAN	
C3.01	OVERALL SITE PLAN	
C3.02	SITE PLAN	
C3.03	SITE PLAN	
C3.04	SITE PLAN	
C4.01	OVERALL GRADING PLAN	
C4.02	GRADING PLAN	
C4.03	GRADING PLAN	
C4.04	GRADING NOTES	
C5.01	PHASE 1 EROSION CONTROL PLAN	
C5.02	PHASE 2 EROSION CONTROL PLAN	
C5.03	EROSION CONTROL NOTES	
C5.04	EROSION CONTROL DETAILS	
C5.05	SWPPP	
C5.06	SWPPP	
C6.01	UTILITY PLAN	
C6.02	UTILITY NOTES	
C9.01	DETAILS	
C9.02	DETAILS	
C9.03	DETAILS	
C9.04	DETAILS	
C9.05	DETAILS	
C9.06	DETAILS	
L0.01	TREE PRESERVATION PLAN	
L1.01	TREE AND GROUND COVER PLANTING PLAN	
L1.02	SHRUB PLANTING PLAN	
L1.03	LANDSCAPE NOTES & DETAILS	

GOVERNING SPECIFICATIONS

CITY OF DAYTON SPECIFICATIONS (2008)  
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2018)  
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2020 EDITION)  
MN PLUMBING CODE (2020)

NO	DATE	BY	CKD	APPR	COMMENT
© 2021 Sambatek					

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ERIK W. MILLER, PE

Date License # 41326

PRELIMINARY

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY  
CDC

DESIGNED BY  
TC

CHECKED BY  
TC

PROJECT NO.  
53747



TITLE SHEET

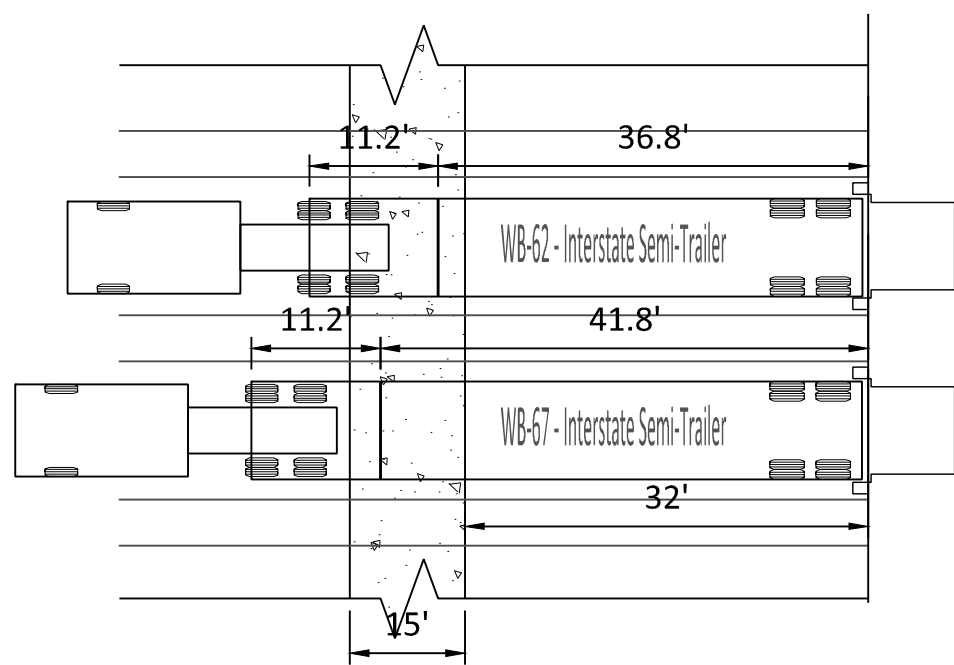
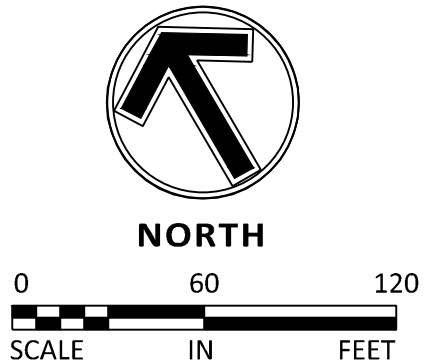
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N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

1. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
2. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
4. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
5. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
7. SEE ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS
8. SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLES.
9. REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
10. ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 1.50% (1:67). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
11. "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
12. STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.

GROSS SITE AREA	612,834 SF	14.07 AC
<u>BUILDING SETBACKS</u>		
FRONT YARD		50 FEET
REAR YARD		20 FEET
SIDE YARD		25 FEET
<u>PARKING SETBACKS</u>		
FRONT YARD		20 FEET
REAR YARD		15 FEET
SIDE YARD		5 FEET
MINIMUM LOT SIZE		43,560 SF
MAXIMUM IMPERVIOUS (80%)		490,267 SF
PROPOSED IMPERVIOUS (47%)		290,342 SF
MAXIMUM BUILDING FOOT PRINT (50%)		306,417 SF
PROPOSED BUILDING FOOT PRINT (20%)		125,037 SF
<u>ZONING</u>		
EXISTING ZONING		B-4
PROPOSED ZONING		I-1
<u>PARKING SUMMARY</u>		
PROPOSED AUTO PARKING PROVIDED		144 SPACES
PROPOSED TRUCK PARKING PROVIDED		14 SPACES
REQUIRED ADA SPACES		6 SPACES
PROVIDED ADA SPACES		6 SPACES

<u>AVERAGE BUFFER AREA REQUIRED (25 FEET OR 40 FEET ADJACENT TO 3:1)</u>		
WETLAND 1	28,054 SF	0.64 AC
WETLAND 2	11,140 SF	0.26 AC
TOTAL	34,469 SF	0.80 AC
 <u>AVERAGE BUFFER AREA PROVIDED</u>		
WETLAND 1	28,087 SF	0.64 AC
WETLAND 2	11,140 SF	0.26 AC
TOTAL	34,751 SF	0.80 AC
 AREA OF WETLAND 1 IMPACTED		
	2,719 SF	0.06 AC

	PROPOSED	EXISTING		
PROPERTY LIMIT	=====	=====	STANDARD DUTY ASPHALT PAVING	
CURB & GUTTER	=====	=====		
EASEMENT	=====	-----	HEAVY DUTY ASPHALT PAVING	
BUILDING		//////		
RETAINING WALL	○-○-○-○-○-○-○-○	=====	CONCRETE PAVING	
WETLAND LIMITS		===== WL		
TREELINE		~~~~~	CONCRETE SIDEWALK	
SAWCUT LINE	=====			
	●		PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)	
PIPE BOLLARD	●		WETLAND BUFFER AREA	
NUMBER OF PARKING STALLS PER ROW	⊗		POND MAINTENANCE	
KEY NOTE	⊗		WETLAND IMPACT	
TURF REINFORCEMENT MAT	○-○-○-○-○-○-○-○			

TOTAL	125,037	SF GFA		CODE REQUIRED PARKING	
90%	112,533	SF WAREHOUSE	1 SPACE / 2,000 SF	56.27	SPACES
10%	12,504	SF OFFICE	1 SPACE / 200 SF	62.52	SPACES
				119	TOTAL SPACES REQUIRED

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ERIK W. MILLER, PE

Date \_\_\_\_\_ License # \_\_\_\_\_

CONSTRUCTION DOCUMENTS

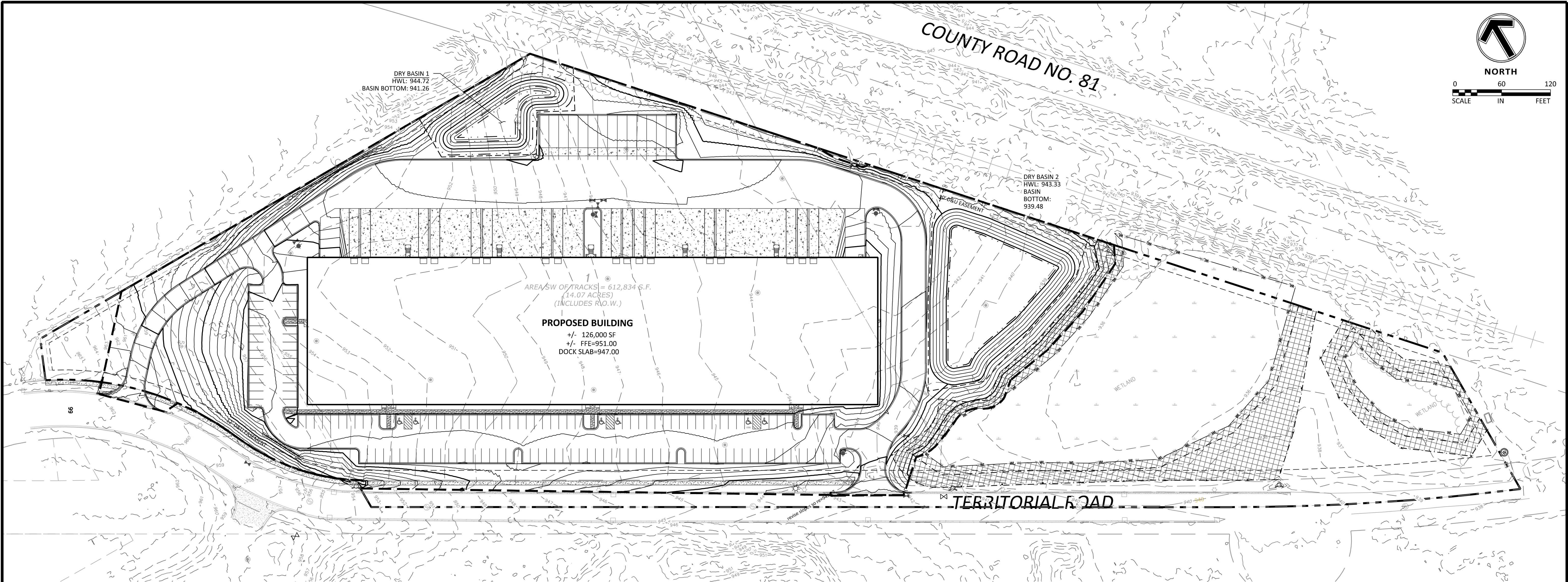
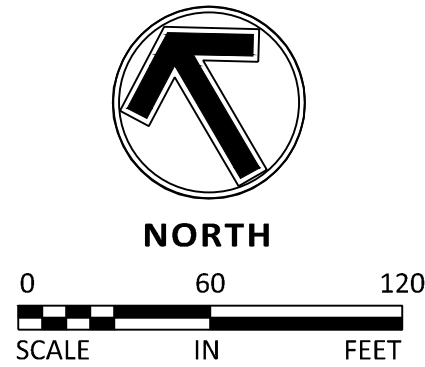
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SCANNELL PROPERTIES  
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LEGEND			
PROPOSED	EXISTING		
		BOUNDARY LINE	
		CONCRETE CURB	
		STORM SEWER	CONCRETE PAVING
		DRAINTILE	CONCRETE SIDEWALK
		BUILDING LINE	WETLAND BUFFER AREA
		RETAINING WALL	LIMITS OF CONSTRUCTION
		CONTOUR	
		WETLAND	
		TREE LINE	
		SPOT ELEVATIONS	
		RIPRAP	
		OVERFLOW ELEV.	
		SOIL BORING	
		TOP OF CURB	
		GUTTER LINE	
		BEGIN CURB TRANSITION	
		END CURB TRANSITION	

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ERIK W. MILLER, PE

Date                      License # 41326

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TC

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TC

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OVERALL GRADING PLAN

SCANNELL PROPERTIES

DAYTON INTERCHANGE BUSINESS CENTER

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DAYTON, MN

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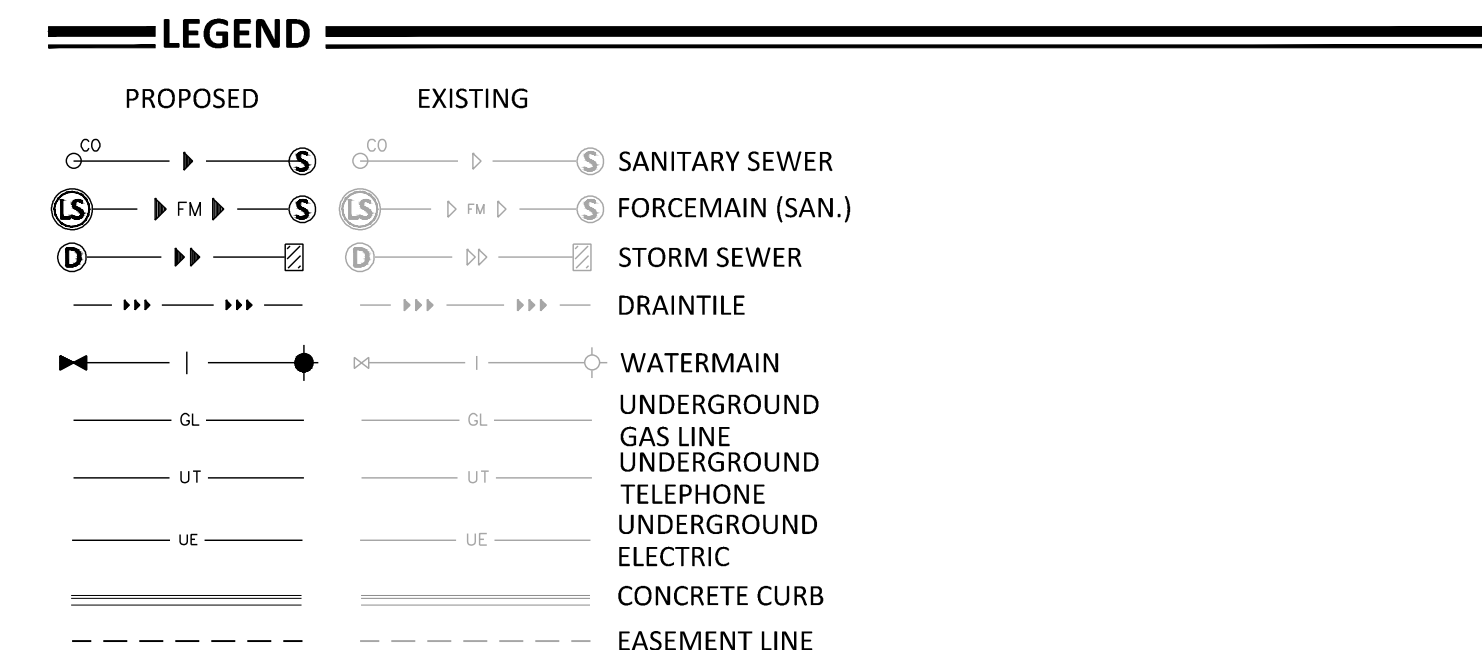
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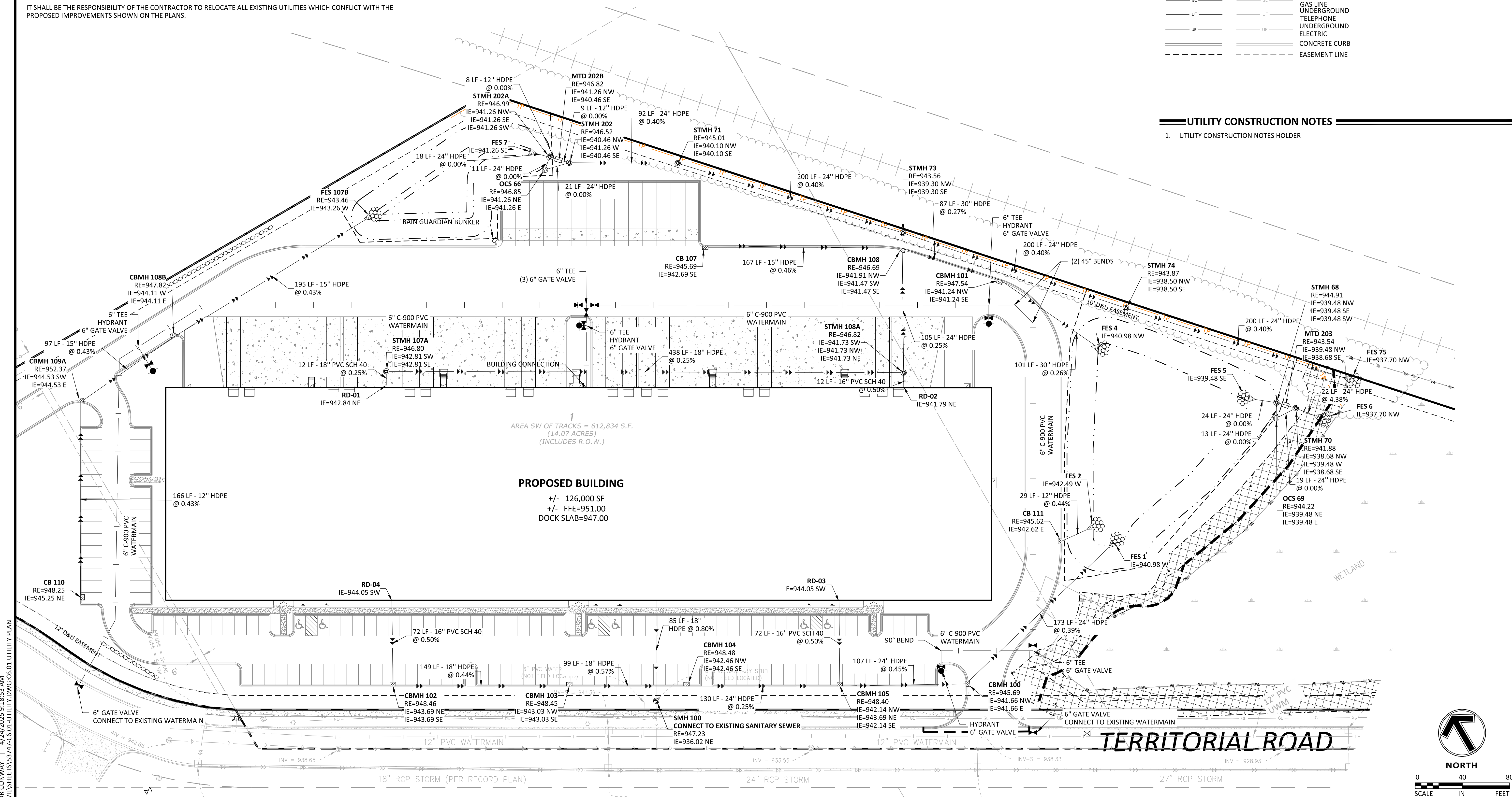


IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



## UTILITY CONSTRUCTION NOTES

- ## 1. UTILITY CONSTRUCTION NOTES HOLDER

[illegible]

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Print Name: ERIK W. MILLER, PE

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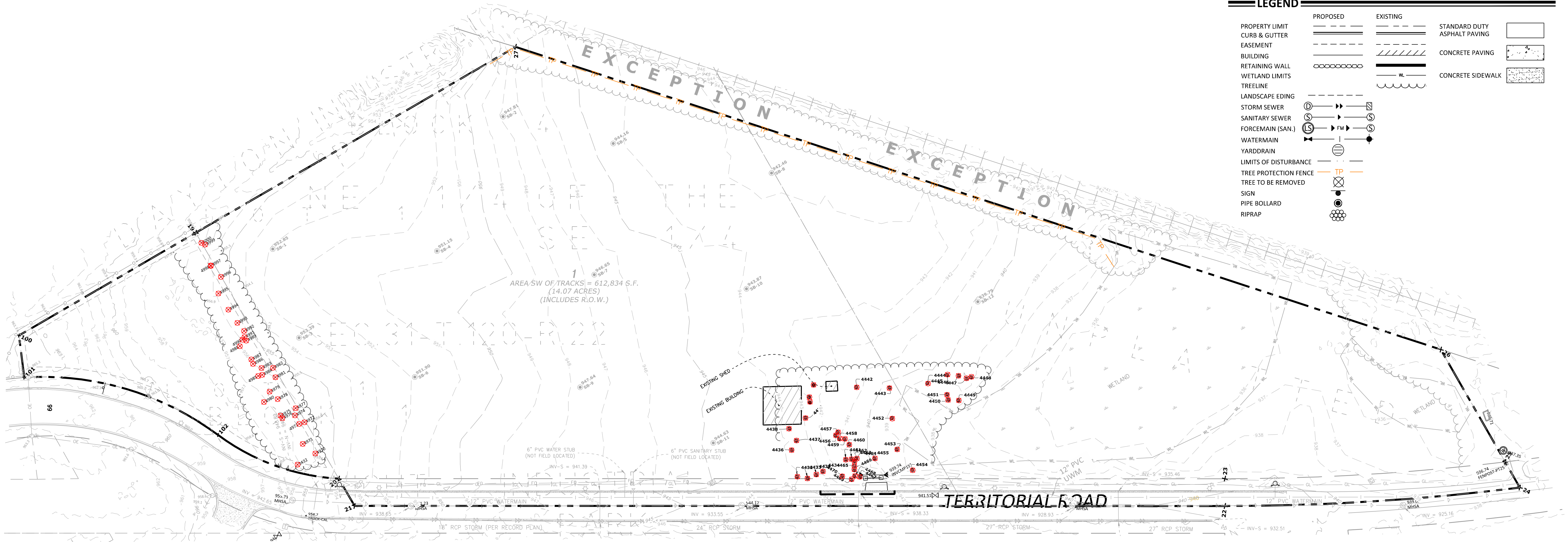
UTILITY PLAN

SCANNELL PROPERTIES  
DAYTON INTERCHANGE BUSINESS CENTER  
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L:\PROJECTS\53747\CAD\CIVIL\SHEETS\53747-10.01-TREE.DWG 10.01 TREE PRESERVATION PLAN



LEGEND			
PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER			
EASEMENT			CONCRETE PAVING
BUILDING			CONCRETE SIDEWALK
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRRAIN			
LIMITS OF DISTURBANCE			
TREE PROTECTION FENCE			
TREE TO BE REMOVED			
SIGN			
PIPE BOLLARD			
RIPRAP			

## TREE PRESERVATION CALCULATIONS

DEVELOPMENT IN NON-RESIDENTIAL DISTRICTS MAY REMOVE UP TO 60% OF TOTAL INCHES OF SIGNIFICANT TREES DBH. ANY REMOVAL OR DISTURBANCE BEYOND SHALL REQUIRE REFORESTATION. SIGNIFICANT TREES REMOVED FOR WATER QUALITY TREATMENT PONDS, PUBLIC TRAILS, SIDEWALKS, AND COLLECTOR OR ARTERIAL ROADS ARE EXEMPT FROM THE REMOVAL THRESHOLD CALCULATION.

- TOTAL INCHES OF SIGNIFICANT TREES RECORDED: 1,112 INCHES
- ALLOWABLE TREES REMOVED (60% DBH): 667 INCHES
- INCHES REMOVED BEYOND THRESHOLD: 445 INCHES

FOR EACH INCH THAT IS REMOVED OR DISTURBED BEYOND THE THRESHOLD, THE SUBDIVIDER SHALL REPLANT 1 INCH OF NEW TREES.

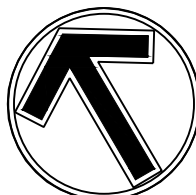
- REPLACEABLE TREE INCHES REQUIRED (DBH): 445 INCHES
- MINIMUM TREE SIZE REQUIRED: 2.5"
- **NUMBER OF TREES TO BE REPLANTED: 178 TREES AT MINIMUM 2.5" CAL.**
- **NUMBER OF PROPOSED REPLACEMENT TREES: 45 TREES**
- **FEE IN LIEU OF REPLACEMENT TREES (\$125 PER INCH \* 333 INCHES): \$41,625**

## TREE INVENTORY

Tree Number	Size	Tree Name	Classification
4432	20	Poplar - White (Populus alba)	Common
4433	21	Poplar - White (Populus alba)	Common
4434	48	Poplar - White (Populus alba)	Common
4435	20'	Cedar - Eastern Red (Juniperus virginiana)	Evergreen
4436	18	Poplar - White (Populus alba)	Common
4437	38	Box Elder (Acer negundo)	Common
4438	13	Elm - American (Ulmus americana)	Common
4439	28	Poplar - White (Populus alba)	Common
4440	15	Poplar - White (Populus alba)	Common
4441	14	Poplar - White (Populus alba)	Common
4442	16	Box Elder (Acer negundo)	Common
4443	19	Box Elder (Acer negundo)	Common
4444	17	Box Elder (Acer negundo)	Common
4445	14	Box Elder (Acer negundo)	Common-Exempt
4446	15	Box Elder (Acer negundo)	Common-Exempt
4447	14	Box Elder (Acer negundo)	Common-Exempt
4448	13	Box Elder (Acer negundo)	Common-Exempt
4449	13	Box Elder (Acer negundo)	Common
4450	13	Box Elder (Acer negundo)	Common
4451	14	Box Elder (Acer negundo)	Common
4452	14	Box Elder (Acer negundo)	Common
4453	12	Box Elder (Acer negundo)	Common
4454	13	Box Elder (Acer negundo)	Common
4455	14	Poplar - White (Populus alba)	Common

4456	22	Poplar - White (Populus alba)	Common
4457	21	Poplar - White (Populus alba)	Common
4458	20	Poplar - White (Populus alba)	Common
4459	14	Poplar - White (Populus alba)	Common
4460	13	Poplar - White (Populus alba)	Common
4461	16	Poplar - White (Populus alba)	Common
4462	13	Poplar - White (Populus alba)	Common
4463	13	Poplar - White (Populus alba)	Common
4464	13	Poplar - White (Populus alba)	Common
4465	14	Poplar - White (Populus alba)	Common
4466	13	Poplar - White (Populus alba)	Common
4467	19	Poplar - White (Populus alba)	Common
4468	16	Poplar - White (Populus alba)	Common
4469	13	Poplar - White (Populus alba)	Common
4470	17	Poplar - White (Populus alba)	Common
4471	15	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4472	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4473	16	Box Elder (Acer negundo)	Common
4474	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4475	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4476	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4477	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4478	22	Basswood (Tilia americana)	Hardwood
4479	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4480	19	Box Elder (Acer negundo)	Common

4981	13	Hackberry (Celtis occidentalis)	Hardwood
4982	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4983	15	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4984	13	Box Elder (Acer negundo)	Common
4985	13	Box Elder (Acer negundo)	Common
4986	14	Box Elder (Acer negundo)	Common
4987	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4988	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4989	14	Box Elder (Acer negundo)	Common
4990	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4991	15	Elm - American (Ulmus americana)	Common
4992	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4993	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4994	15	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4995	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4996	15	Oak - White (Quercus alba)	Hardwood
4997	18	Box Elder (Acer negundo)	Common
4998	13	Elm - American (Ulmus americana)	Common
4999	10	Oak - White (Quercus alba)	Hardwood
5000	13	Box Elder (Acer negundo)	Common
2432	13	Elm - American (Ulmus americana)	Common



NORTH  
0 60 120  
SCALE IN FEET

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Print Name: \_\_\_\_\_

Date \_\_\_\_\_ License # \_\_\_\_\_

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











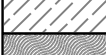



TREE PRESERVATION PLAN  
SCANNELL PROPERTIES  
DAYTON INTERCHANGE BUSINESS CENTER  
PERMIT SUBMITTAL  
DAYTON, MN

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PLANT SCHEDULE

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	SIZE	QTY
TREES						
	AB	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	B & B	2.5"Cal		11
	RB	Betula nigra 'Cully' TM / Heritage Birch	B & B	2.5"Cal		17
	IH	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	B & B	2.5"Cal		16
	QA	Populus tremuloides / Quaking Aspen	B & B	2.5"Cal		9
	SO	Quercus bicolor / Swamp White Oak	B & B	2.5"Cal		11
	RP	Quercus robur x warei 'Long' / Regal Prince Oak	B & B	2.5"Cal		19
	PE	Ulmus americana 'Princeton' / American Elm	B & B	2.5"Cal		8
CONIFERS						
	BF	Abies balsamea / Balsam Fir	B & B		6'	15
	NS	Picea abies / Norway Spruce	B & B		6'	12
	BS	Picea glauca densata / Black Hills Spruce	B & B		6'	9
	WP	Pinus strobus / White Pine	B & B		6'	10
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT			
GROUND COVERS						
	SB	MNDOT Seed Mix Southern Boulevard / Formerly MNDOT seed mix 25-131	Seed			
	SSR	MNDOT Seed Mix Southern Shortgrass Roadside / Formerly MNDOT Seed Mix 35-221/36-211	Seed			
	WD	MNDOT Seed Mix Wet Ditch / Formerly MNDOT Seed Mix 33-261	Seed			
	TUR HIG	Turf Sod Highland Sod / Sod	Sod			

DAYTON LANDSCAPE CODE

BUILDING GROUND COVER: A MINIMUM 5-FOOT STRIP FROM THE BUILDING EDGE MUST BE TREATED WITH DECORATIVE GROUND COVER AND/OR FOUNDATION PLANTINGS, EXCEPT FOR GARAGE/LOADING AREAS AND PEDESTRIAN ACCESS AREAS.

CALCULATIONS  
LANDSCAPE AREA FOR I-1 (25%):  
TOTAL SITE AREA (612,834 SF) - WETLANDS 1 & 2 (72,350 SF) +  
WETLAND IMPACT AREA (4,531 SF) = **545,015 SF NET AREA**

INTERNAL PARKING LOT LANDSCAPE (3%) 47,476 SF

CALCULATIONS (136,253 SF OF REQUIRED LAND AREA ) PICK 3  
ONE OVERSTORY TREE PER 3,000 SF OF LAND AREA  
ONE CONIFEROUS TREE PER 3,000 SF OF LAND AREA  
ONE ORNAMENTAL TREE PER 1,500 SF OF LAND AREA  
ONE SHRUB PER 100 SF OF LAND AREA

PARKING LOT TREES: 146 PARKING STALLS  
ONE OVERSTORY TREE PER 10 PARKING STALLS.

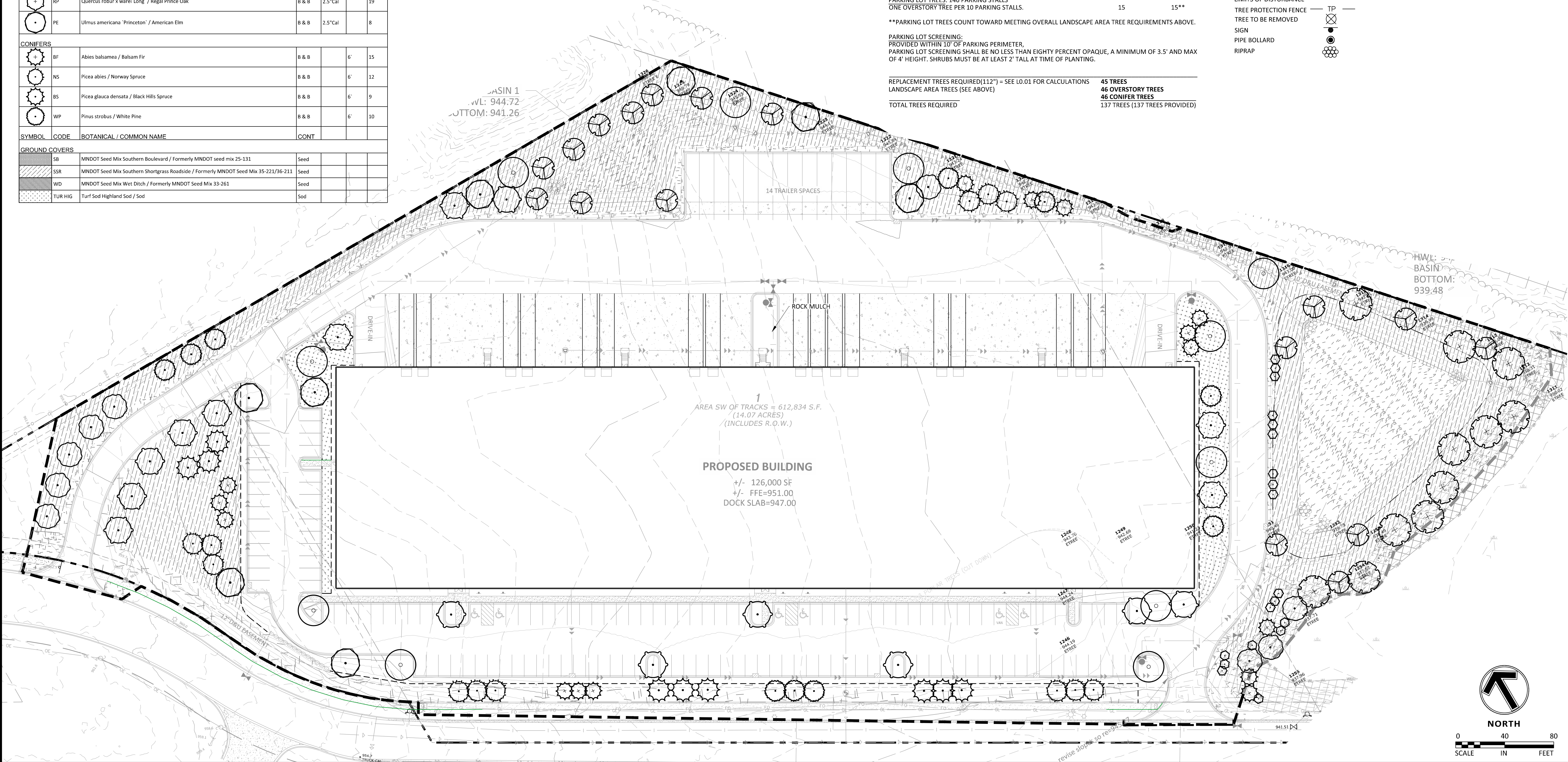
\*\*PARKING LOT TREES COUNT TOWARD MEETING OVERALL LANDSCAPE AREA TREE REQUIREMENTS ABOVE.

PARKING LOT SCREENING:  
PROVIDED WITHIN 10' OF PARKING PERIMETER,  
PARKING LOT SCREENING SHALL BE NO LESS THAN EIGHTY PERCENT OPAQUE, A MINIMUM OF 3.5' AND MAX  
OF 4' HEIGHT. SHRUBS MUST BE AT LEAST 2' TALL AT TIME OF PLANTING.

REPLACEMENT TREES REQUIRED(112") = SEE I.O.01 FOR CALCULATIONS  
LANDSCAPE AREA TREES (SEE ABOVE)  
TOTAL TREES REQUIRED

LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER			
EASEMENT			
BUILDING			CONCRETE PAVING
RETAINING WALL			CONCRETE SIDEWALK
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDGING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRAIN			
LIMITS OF DISTURBANCE			
TREE PROTECTION FENCE			
TREE TO BE REMOVED			
SIGN			
PIPE BOLLARD			
RIPRAP			



NO	DATE	BY	CKD	APPR	COMMENT

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Print Name: \_\_\_\_\_

Date \_\_\_\_\_ License # \_\_\_\_\_

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CONSTRUCTION DOCUMENTS

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CHECKED BY

PROJECT NO. 53747



TREE AND GROUNDCOVER PLANTING PLAN

SCANNELL PROPERTIES  
DAYTON INTERCHANGE BUSINESS CENTER  
PERMIT SUBMITTAL  
DAYTON, MN

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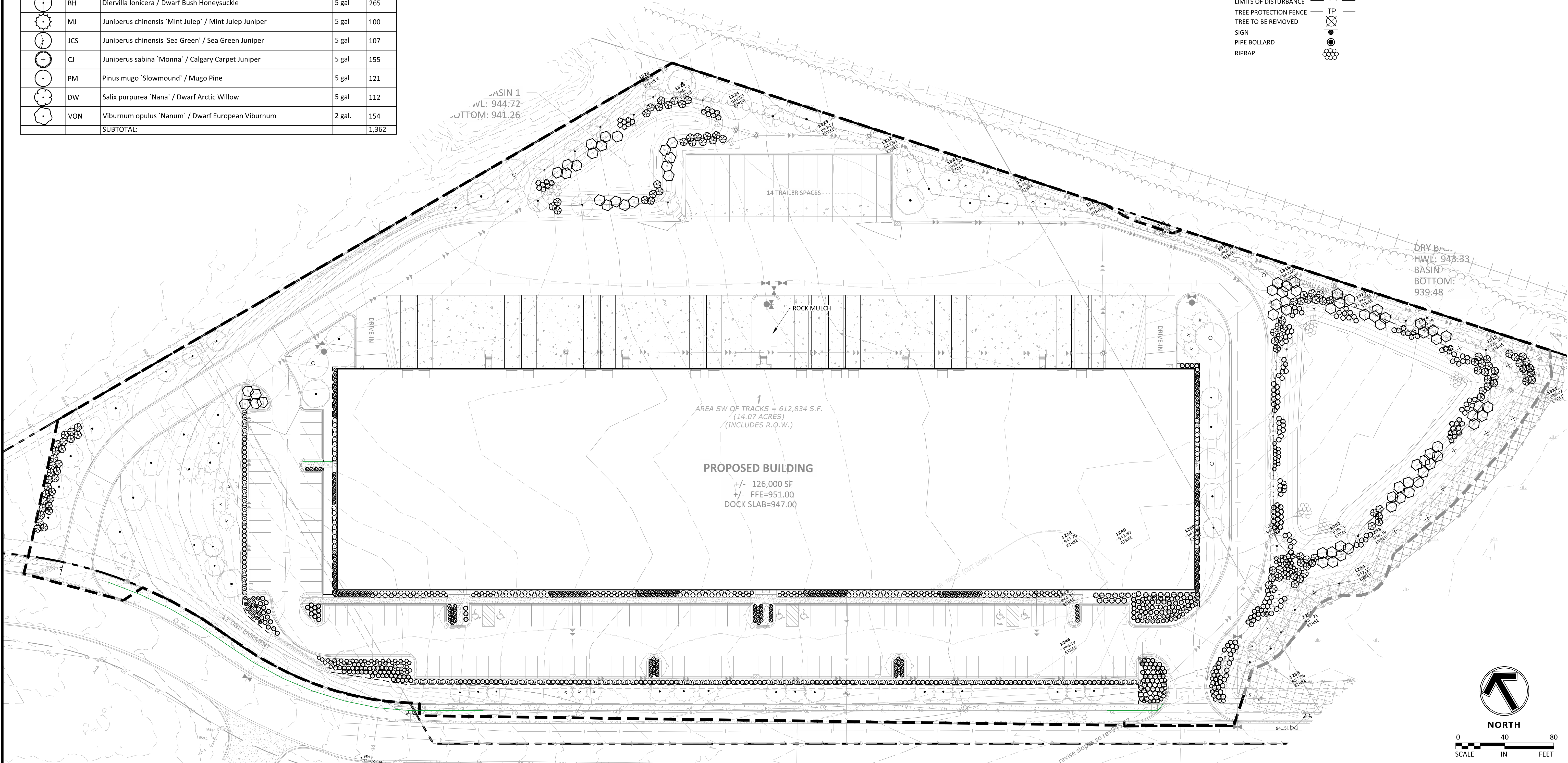


PLANT SCHEDULE

PLANT SCHEDULE				
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	QTY
SHRUBS				
	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	5 gal	113
	CR	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra	5 gal	35
	YD	Cornus alba 'Bud's Yellow' / Bud's Yellow Dogwood	5 gal	115
	RD	Cornus baileyi / Bailey's Red-twig Dogwood	5 gal	74
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal	11
	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	265
	MJ	Juniperus chinensis 'Mint Julep' / Mint Julep Juniper	5 gal	100
	JCS	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal	107
	CJ	Juniperus sabina 'Monna' / Calgary Carpet Juniper	5 gal	155
	PM	Pinus mugo 'Slowmound' / Mugo Pine	5 gal	121
	DW	Salix purpurea 'Nana' / Dwarf Arctic Willow	5 gal	112
	VON	Viburnum opulus 'Nanum' / Dwarf European Viburnum	2 gal.	154
		SUBTOTAL:		1,362

LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER			
EASEMENT			CONCRETE PAVING
BUILDING			CONCRETE SIDEWALK
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRAIN			
LIMITS OF DISTURBANCE			
TREE PROTECTION FENCE			
TREE TO BE REMOVED			
SIGN			
PIPE BOLLARD			
RIPRAP			



NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Print Name: \_\_\_\_\_

Date \_\_\_\_\_ License # \_\_\_\_\_

PRELIMINARY
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
DESIGNED BY
CHECKED BY
PROJECT NO. 53747

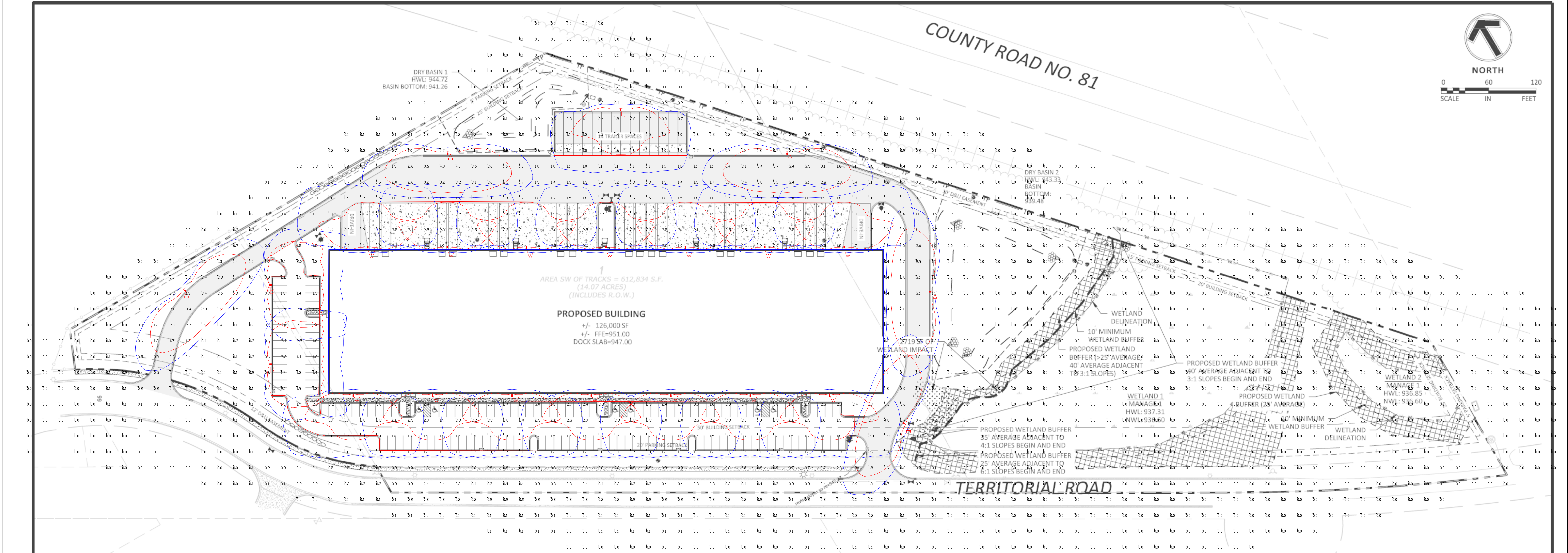
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Engineering | Surveying | Planning | Environmental

**SHRUB PLANTING PLAN**

SCANNELL PROPERTIES  
DAYTON INTERCHANGE BUSINESS CENTER  
PERMIT SUBMITTAL  
DAYTON, MN

**SHEET**  
**L1.02**  
27 OF 28  
REV.





VALS

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid_Z
ALL CALCS AT GRADE	Illuminance	Fc	0.55	4.0	0.0	N.A.	N.A.	0
CAR PARKING AREAS	Illuminance	Fc	1.92	3.2	1.1	1.75	2.91	
TRAILER SPACES	Illuminance	Fc	1.33	2.4	0.7	1.90	3.43	
TRUCK LOADING AREA	Illuminance	Fc	2.08	2.6	1.1	1.89	2.36	





PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

The IES no longer uses the Cutoff Classification System for LED fixtures. The IES classifies LED fixtures with the BUG rating which refers to the Backlight-Uplight-Glare system. An Uplight of "U0" most closely matches the old Full Cutoff rating.

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
	5	A	Single	VALS-27L-2-50K7	30'	0.940	25292	178	B3-U0-G5
	2	B	Single	VALS-27L-4F-50K7	30'	0.940	23317	178	B2-U0-G5
	1	C	Single	VALS-27L-4W-50K7	30'	0.940	21361	178	B2-U0-G5
	14	W	Single	VALS-27L-4W-50K7	30'	0.940	21361	178	B2-U0-G5

Total Project Watts\_1  
Total Watts = 3916



LIGHTING PROPOSAL LO-162487

DAYTON INTERCHANGE BUSINESS CENTER  
COUNTY ROAD NO 81  
DAYTON, MN

BY:RNC DATE:05/06/25 REV: SHEET 1 OF 1

SCALE: 1"=60'

0 60



GENERAL PROJECT NOTES

1. OWNER FURNISHED EQUIPMENT SUPPLIERS ARE TO COORDINATE FINAL LOCATION OF EQUIPMENT AND INSTALLATION WITH THE OWNER.
2. ELECTRICAL CONTRACTOR & CABLE CONTRACTOR ARE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED TO WALLS, FINISHES, CEILING ETC. IN THE COURSE OF THEIR CONSTRUCTION. IF CONTRACTORS BEGIN WORK IN AN AREA WITH EXISTING DAMAGE THEY ARE TO IMMEDIATELY NOTIFY THE OWNER OR ASSUME RESPONSIBILITY OF SUCH DAMAGE.

FLOOR PLAN KEYNOTES

TAG	KEYNOTE
1	-
2	-

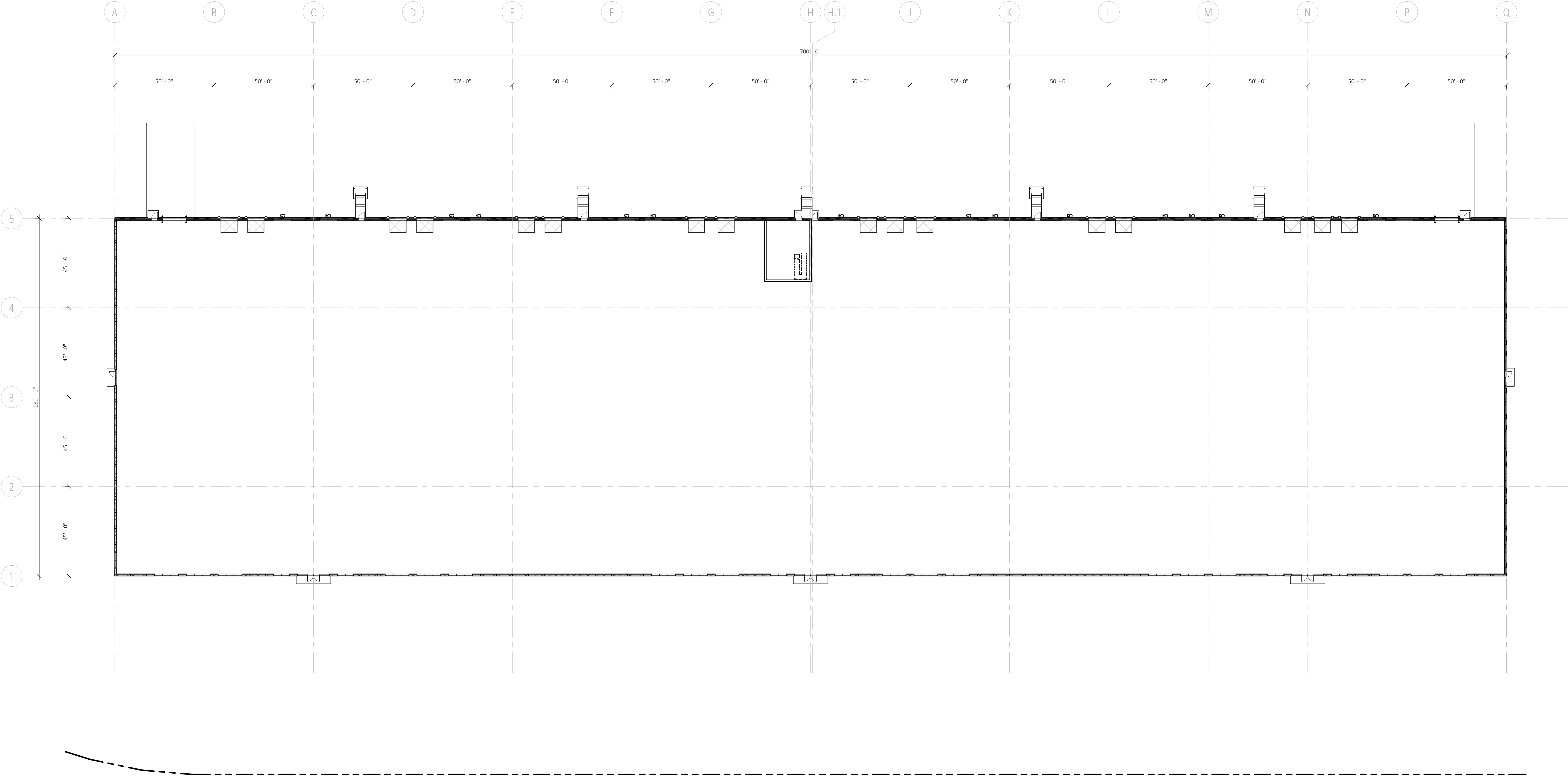


1000 Twelve Oaks Center Drive  
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DAYTON 125,000

DAYTON INTERCHANGE  
BC  
HOLLY LANE AND  
TERRITORIAL ROAD  
DAYTON, MN 55445

NO.	DESCRIPTION	DATE
	CONSTRUCTION DOCUMENTS	XXXXXX XX

PROJECT NUMBER: 21315  
DRAWN BY: C.ALLEN  
CHECKED BY: S.PAETZEL  
DATE: XXXXXXXX

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SHELL PLAN -  
OVERALL

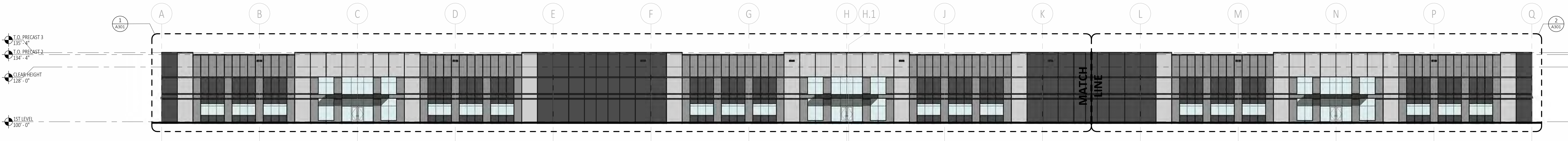


A200

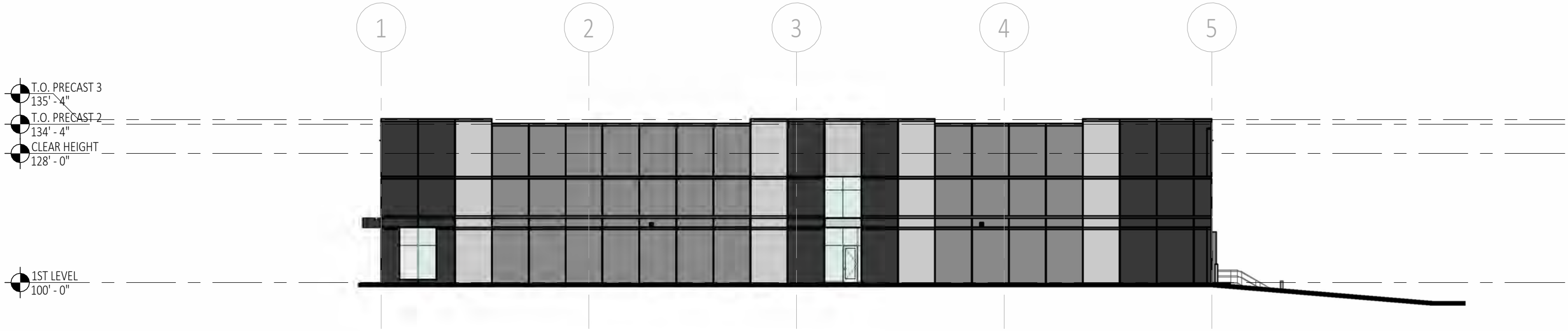


NOT FOR  
CONSTRUCTION

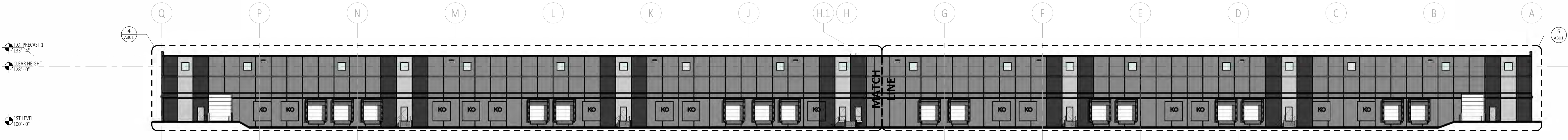
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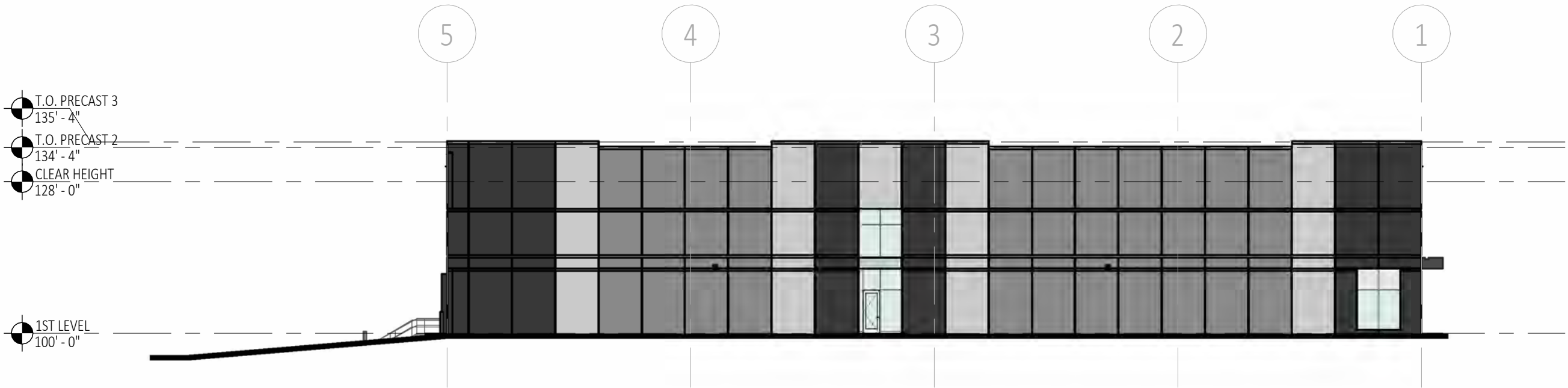
1 ELEVATION - SOUTH - OVERALL  
A300 3/64" = 1'-0"



2 ELEVATION - EAST - OVERALL  
A300 3/64" = 1'-0"



3 ELEVATION - NORTH - OVERALL  
A300 3/64" = 1'-0"



4 ELEVATION - WEST - OVERALL  
A300 3/64" = 1'-0"

EXTERIOR MATERIALS LEGEND

- IMP-1 2-1/2" THICK METL SPAN STRIATED INSULATED METAL PANEL OR APPROVED EQUAL  
COLOR: REGAL GRAY
- IMP-2 2-1/2" THICK METL SPAN STRIATED INSULATED METAL PANEL OR APPROVED EQUAL  
COLOR: CHARCOAL GRAY
- IMP-3 2-1/2" THICK R-20 MINIMUM 7.2 RIBBED METL SPAN METAL PANELS OR EQUAL  
COLOR: SLATE
- MTL-1 PREFINISHED METAL TRIM  
COLOR: POLAR WHITE
- MTL-2 ACM METAL TRIM  
COLOR: TEAL
- EFS-1 DRYVIT ACRYLIC-BASED CUSTOM BRICK FINISH  
COLOR: PASTEL PINK
- P-1 COLOR TO MATCH IMP-1; SEND SAMPLE TO ARCHITECT FOR APPROVAL

EXTERIOR FINISH SCHEDULE

TAG	NOTES	SAMPLE
ALUMINUM COMPOSITE MATERIAL		
ACM-1	MANUFACTURER: - COLOR: - SIZE: AS INDICATED ON ELEVATIONS	
EXTERIOR PAINT ON PRECAST CONCRETE		
PCP-1	MANUFACTURER: SHERWIN-WILLIAMS COLOR: SW7065 ARGOS	
METAL		
MTL-1	MANUFACTURER: - COLOR: -	

DAYTON 125,000

DAYTON INTERCHANGE  
BC  
HOLLY LANE AND  
TERRITORIAL ROAD  
DAYTON, MN 55445

NO.	DESCRIPTION	DATE
	CONSTRUCTION DOCUMENTS	XXXXXX XX

PROJECT NUMBER: 21315  
DRAWN BY: C.ALLEN  
CHECKED BY: S.PAETZEL  
DATE: XXXX/XXXX/XXXX  
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EXTERIOR  
BUILDING  
ELEVATIONS -  
OVERALL

A300





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**DAYTON INTERCHANGE  
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TERRITORIAL ROAD  
DAYTON, MN 55445**

PROJECT NUMBER: 21315

DRAWN BY: C.ALLEN

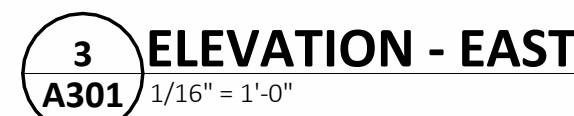
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DATE: XX/XX/XXXX

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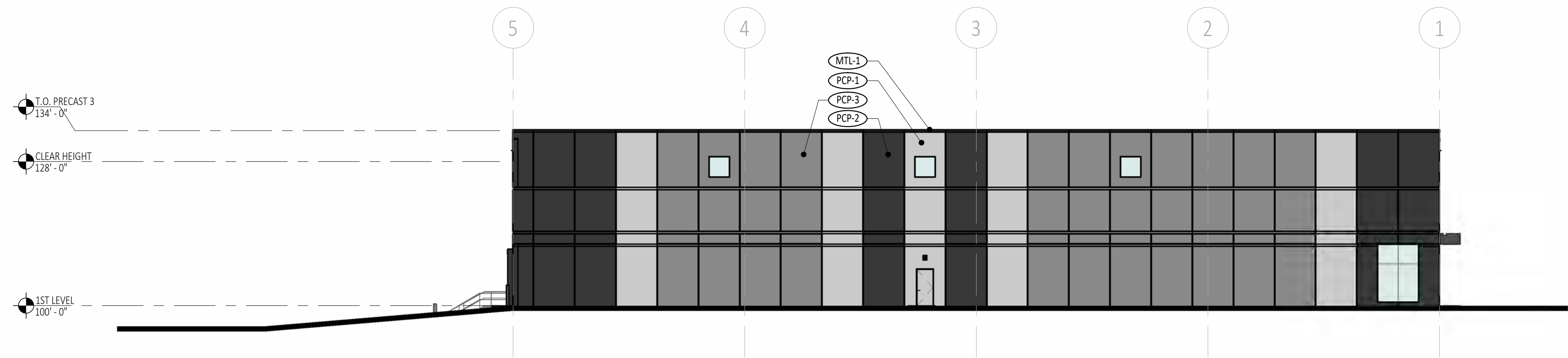
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# A301

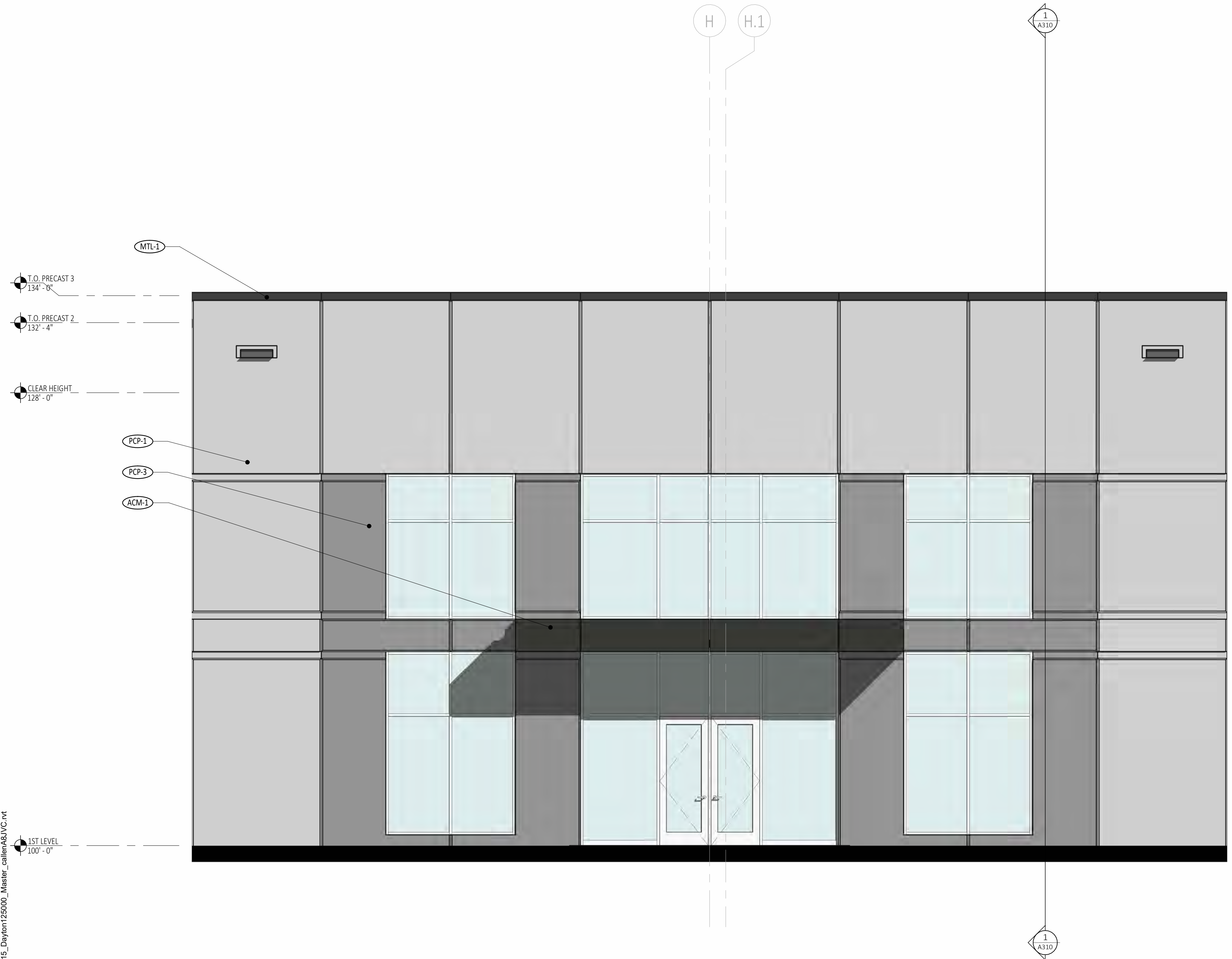


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1  
A302 ELEVATION - WEST  
1/16" = 1'-0"



2  
A302 ELEVATION - MAIN ENTRY  
1/4" = 1'-0"

EXTERIOR MATERIALS LEGEND

- (PCP-1) INSULATED PRE-CAST PANEL  
COMPANY: FABCON.  
FINISH: STEEL FORM FINISH PRECAST PANEL - PAINTED.  
COLOR: FRENCH GREY (TBD).
- (PCP-2) INSULATED PRE-CAST PANEL  
COMPANY: FABCON.  
FINISH: STEEL FORM FINISH PRECAST PANEL - PAINTED.  
COLOR: CHARCOAL GREY (TBD).
- (PCP-3) INSULATED PRE-CAST PANEL  
COMPANY: FABCON.  
FINISH: STEEL FORM FINISH PRECAST PANEL - PAINTED.  
COLOR: MEDIUM GREY (TBD).
- (MTL-1) PRE-FINISHED METAL COPING AND TRIM  
COMPANY: FIRESTONE.  
FINISH: UNICLAD.  
COLOR: MATTIE BLACK.
- (ACM-1) PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL  
COMPANY: ALUCOROND OR EQ.  
COLOR: DEEP BLACK.
- (ACM-2) PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL  
COMPANY: ALUCOROND OR EQ.  
COLOR: FRENCH GREY.
- (P-1) PAINT  
COMPANY: SHERWIN-WILLIAMS OR EQ.  
COLOR: TO MATCH PAINT PCP-1 PAINT COLOR.
- (P-2) PAINT  
COMPANY: SHERWIN-WILLIAMS OR EQ.  
COLOR: TO MATCH PAINT PCP-2 PAINT COLOR.
- (P-3) PAINT  
COMPANY: SHERWIN-WILLIAMS OR EQ.  
COLOR: TO MATCH PAINT PCP-3 PAINT COLOR.

- NOTES:
1. ALUMINUM STOREFRONT FRAMES/ MULLIONS: BLACK ANODIZED ALUMINUM.
  2. GLAZING: CLEAR OR GREY TINT W/ LOW E.
  3. PRECAST OPENING AT STOREFRONT: PAINT TO MATCH CLOSEST ADJACENT MATERIAL: EITHER PRECAST FACE, MTL OR ACM.
  4. OVERHEAD DOCK DOORS: PRE-FINISHED WHITE.
  5. PRECAST OPENING AT OVERHEAD DOCK DOORS: PAINT TO MATCH CLOSEST ADJACENT PRECAST FACE.
  6. HMI DOORS: ALL DOORS TO BE PAINTED P-1, U.N.D.
  7. CANOPY SOFFIT: ACM-1.
  8. BOLLARDS: PAINTED: "DOSHIA YELLOW".
  9. SIGNAGE: BACKLIT SIGNAGE BY TENANT PERMIT.
  10. SAMPLES: PROVIDE SAMPLES FOR CLIENT AND ARCHITECT TO REVIEW BEFORE CONSTRUCTION.
  11. MOCK-UP: PROVIDE MOCK-UP OF EACH PAINT COLOR FOR CLIENT AND ARCHITECT TO REVIEW ONSITE.

1000 Twelve Oaks Center Drive  
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NO.	DESCRIPTION	DATE
	CITY SUBMITTAL	03/16/2023
	EXTERIOR ELEVATION FINISHES	05/16/2023

PROJECT NUMBER: 21315  
DRAWN BY: C.ALLEN  
CHECKED BY: S.PAETZEL  
DATE: 05/16/2023

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EXTERIOR  
BUILDING  
ELEVATIONS -  
ENLARGED

A302